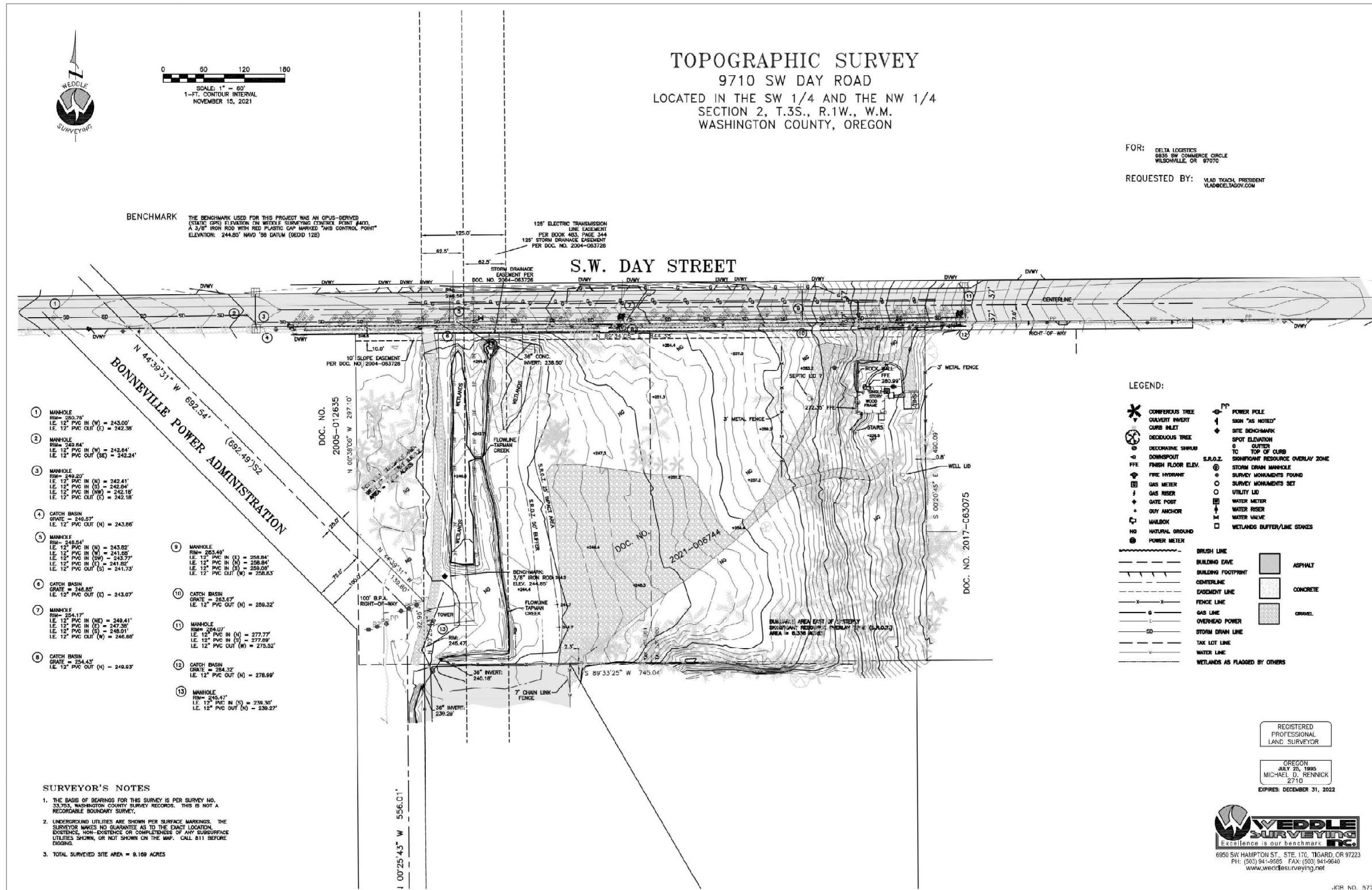




TOPOGRAPHIC SURVEY
9710 SW DAY ROAD
LOCATED IN THE SW 1/4 AND THE NW 1/4
SECTION 2, T.3S., R.1W., W.M.
WASHINGTON COUNTY, OREGON

FOR: DELTA LOGISTICS
9835 SW COMMERCE CIRCLE
WILSONVILLE, OR 97070
REQUESTED BY: VLAD TRACH, PRESIDENT
VLAD@DELTA.GOV.COM



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REVISION SCHEDULE		
Date	Issued As	Issue Date

EXISTING CONDITIONS - SURVEY SHEET



JCR NO. 5777

SHEET

C1.01

JOB NO. 2200502.00



Architecture - Interiors
Planning - Engineering

Project #02
303-224-9590
Wauwatee, WA
360-855-7879
Seattle, WA
206-742-9985
www.mackenzie.com

MACKENZIE
GENERAL CONTRACTORS

Client

DELTA LOGISTICS
9835 SW COMMERCE
CIRCLE
WILSONVILLE, OR
97070

Project

**DELTA LOGISTICS
SITE EXPANSION**
9710 SW DAY RD.
CITY OF
WILSONVILLE, OR

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REVISION SCHEDULE		
Delta	Issued As	Issue Date
1	PLAN CHECK	06/10/2022
2	LAND USE	07/26/2022
3	LAND USE	11/15/2022

SHEET TITLE:

SITE PLAN

DRAWN BY: AOC, BMR

CHECKED BY: BMR, BDN

SHEET

C1.10

JOB NO. 2200502.04

SITE COVERAGE SUMMARY

BUILDING FOOTPRINT AREA:	58,125 SF	1.33 AC
PARKING AND PAVING AREA:	190,265 SF	4.37 AC
LANDSCAPE AREA:	138,317 SF	3.15 AC
TOTAL SITE AREA:	386,708 SF	8.88 AC

SITE PARKING SUMMARY

TRAILERS (50'X12'):	80 STALLS
TRACTOR STALLS (20'X12'):	38 STALLS
PASSENGER VEHICLES (18'X9'):	39 STALLS
ACCESSIBLE STALLS:	2 STALLS
TOTAL VEHICLE STALLS:	41 STALLS

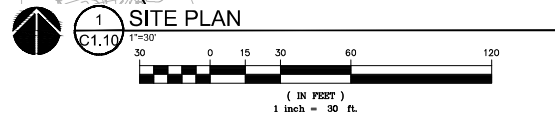
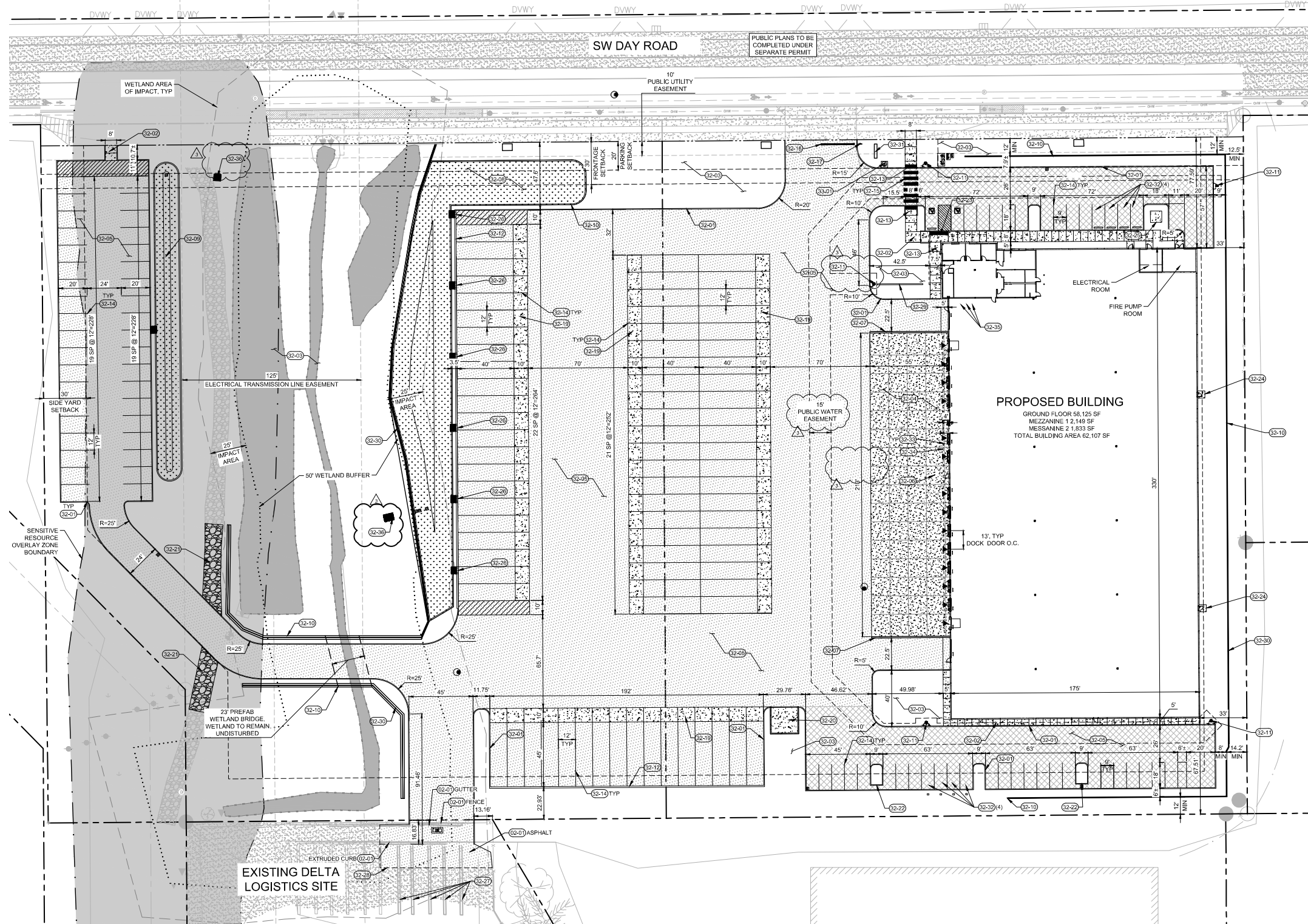
PAVEMENT LEGEND

*PAVEMENT SECTIONS PER GEODESIGN. SEE APPENDIX IN PROJECT SPECIFICATIONS

	SECTION PER SUBSURFACE CONDITION:	
	BEDROCK	SOIL SUBGRADE
LIGHT PAVEMENT (NO TRUCK TRAFFIC)	2.5" AC OVER 4.0" BASE ROCK	2.5" AC OVER 8.0" BASE ROCK
HEAVY TRUCK PAVEMENT: (APPROX. 50 TPD)	4.0" AC OVER 4.0" BASE ROCK	5.0" AC OVER 18.0" BASE ROCK
CONCRETE SECTION:	6" PCC WITH #4 @ 24" O.C. OVER 4" OF CRUSHED ROCK BASE. SUBGRADE TO BE COMPACTED TO GEOTECHNICAL REPORT SPECIFICATIONS	

KEYNOTES

- 02-01 REMOVE EXISTING AS NOTED
- 32-01 CONCRETE VERTICAL CURB, PER DETAIL 1/C5.10
- 32-02 CONCRETE SIDEWALK, PER DETAIL 7/C5.10
- 32-03 LANDSCAPE AREA, SEE LANDSCAPE PLANS
- 32-04 CONCRETE TRUCK DOCK, SEE PAVEMENT LEGEND
- 32-05 ASPHALT PAVING AREA, SEE PAVEMENT LEGEND
- 32-06 DOCK STAIR, PER ARCHITECTURAL DETAIL
- 32-07 DOCK RETAINING WALL, PER ARCHITECTURAL DETAIL
- 32-08 RAIN GARDEN 1, PER DETAIL 7/C5.12
- 32-09 RAIN GARDEN 2, PER DETAIL 8/C5.12
- 32-10 DESIGN-BUILD SOIL NAIL WALL, OR APPROVED EQUAL. SEE WALL PLAN FOR DETAILS
- 32-11 FIRE HYDRANT ASSEMBLY WITH BOLLARD PROTECTION, BOLLARD, PER DETAIL 2 AND 3/C5.10. SEE UTILITY PLAN FOR FIRE HYDRANT DETAILS
- 32-12 12" HIGH X 12" WIDE CURB AT TRUCK TRAILER PARKING STALLS, PER DETAIL 3/C5.10
- 32-13 PERPENDICULAR CURB RAMP, PER DETAIL 12/C5.10
- 32-14 4" WHITE PARKING STRIPE, PER SPECIFICATIONS
- 32-15 12" WIDE CROSSWALK STRIPE, PER SPECIFICATIONS
- 32-16 12" WIDE WHITE STOP BAR STRIPE
- 32-17 STOP SIGN, PER DETAIL 14/C5.10
- 32-19 10" WIDE TRAILER LANDING GEAR STRIP, 6" PCC WITH #4 @ 24" O.C. EACH WAY OVER 4" CRUSHED ROCK BASE. SEE DETAIL 8/C5.10 FOR CONCRETE TO ASPHALT TRANSITION
- 32-20 18"X20" CONCRETE PAD FOR TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR TRASH ENCLOSURE DETAIL
- 32-21 RAMP GRAVEL ROAD TO MATCH GRADE AT DRIVE AISLE. SLOPE NOT TO EXCEED 10%. INSTALL FLUSH CURB AT FOR WIDTH OF ROAD AT DRIVE AISLE. SEE GRADING PLAN FOR MORE DETAILS.
- 32-22 3" CHANNEL, PER DETAIL 1/C5.12
- 32-23 PARALLEL CURB RAMP, PER DETAIL 13/C5.10
- 32-24 5' X 5' CONCRETE LANDING, PER DETAIL 7/C5.10
- 32-25 8' X 8' CONCRETE PAD FOR GENERATOR, SEE MEP PLAN
- 32-26 3" WIDE CURB BREAK AT 90° O.C., PER DETAIL 5/C5.10
- 32-27 PAINT OVER EXISTING TRAILER STALL PARKING WITH BLACK PAINT
- 32-28 FULL DEPTH SAW CUT, PER DETAIL 2/C5.10
- 32-29 SCREEN WALL, PER ARCHITECTURAL DETAIL 9/A5.10
- 32-30 3" HIGH GUARDRAIL TO BE EMBEDDED IN RETAINING WALL AT ALL LOCATIONS WHERE WALL HEIGHT IS GREATER THAN 30". SEE RETAINING WALL PROFILES AND DETAILS 3 AND 4/C5.12
- 32-31 MONUMENT SIGN, SEE LANDSCAPE PLANS FOR DETAILS
- 32-32 FUTURE ELECTRIC VEHICLE PARKING STALL, SEE ELECTRICAL PLANS FOR DETAILS
- 32-33 3" WIDE ISOLATED ROW, SEE DETAIL 12/C5.11
- 32-34 BUILDING CANOPY, SEE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS
- 32-35 3 BIKE RACKS, SEE ARCHITECTURAL PLANS FOR DETAILS
- 32-36 RIP RAP AT PIPE OUTFALL, PER DETAIL 9/C5.12. SEE UTILITY PLANS FOR LOCATION
- 33-01 FDC CONNECTION, PER DETAIL 16/C5.10. SEE UTILITY PLAN



THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS SHOWN FOR REFERENCE ONLY AND IS BASED ON A SURVEY BY WISDLE SURVEYING, INC. DATE 10/26/21

ALTERNATIVE SITE/ACCESS PLAN - OPTION II (PHASE 1)

REVISION SCHEDULE		
Date	Issued As	Issue Date

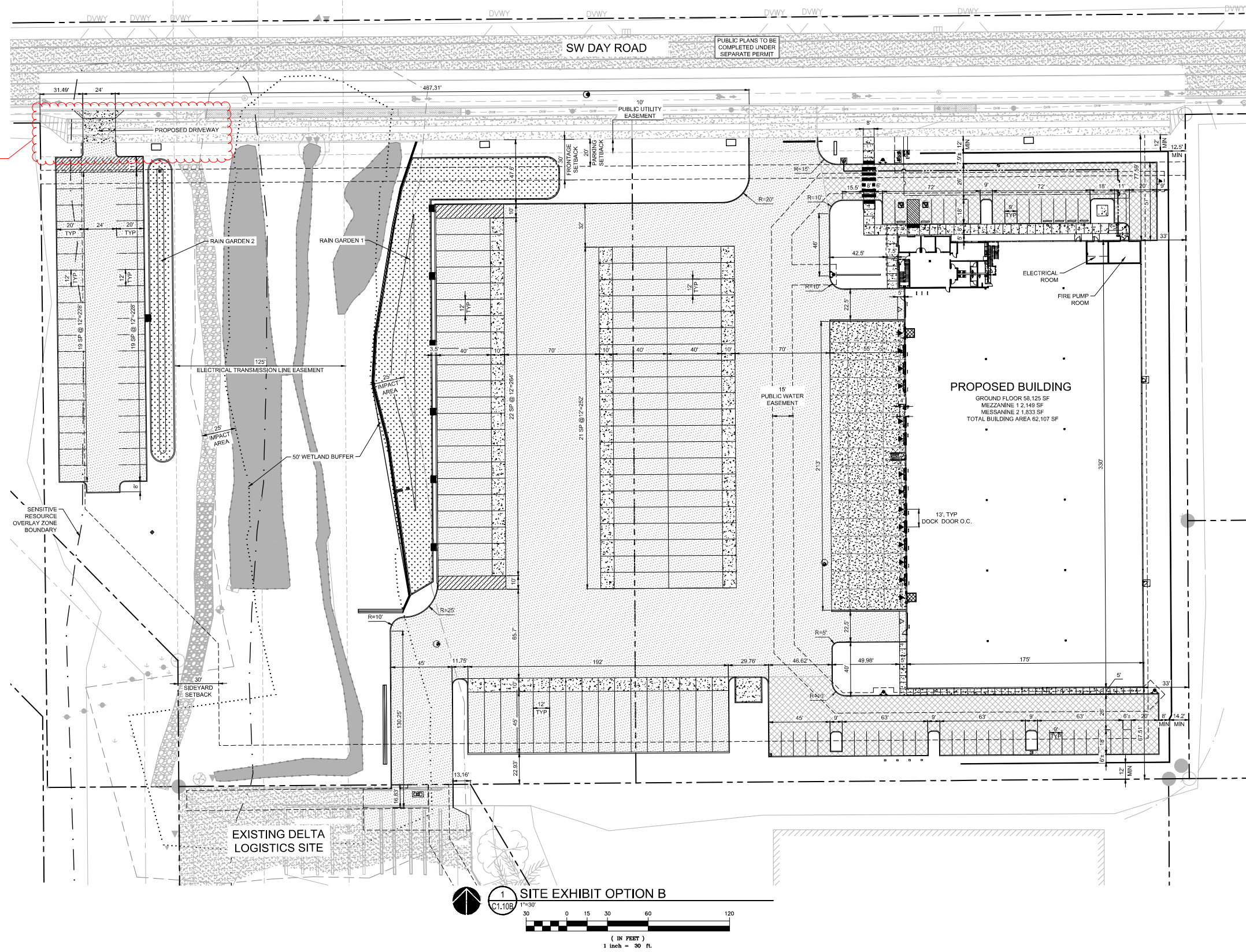
SHEET TITLE:
**SITE EXHIBIT
 OPTION B**

DRAWN BY:
 CHECKED BY:
 SHEET

C1.10B

JOB NO. **2200502.04**

OPTION II, PHASE 1:
 Phase 1 construction
 uses interim driveway
 on SW Day Road for
 access to Semi-Tractor
 storage area, pending
 construction of
 Supporting Street to
 west.



ALTERNATIVE SITE/ACCESS PLAN - OPTION II (PHASE 2)

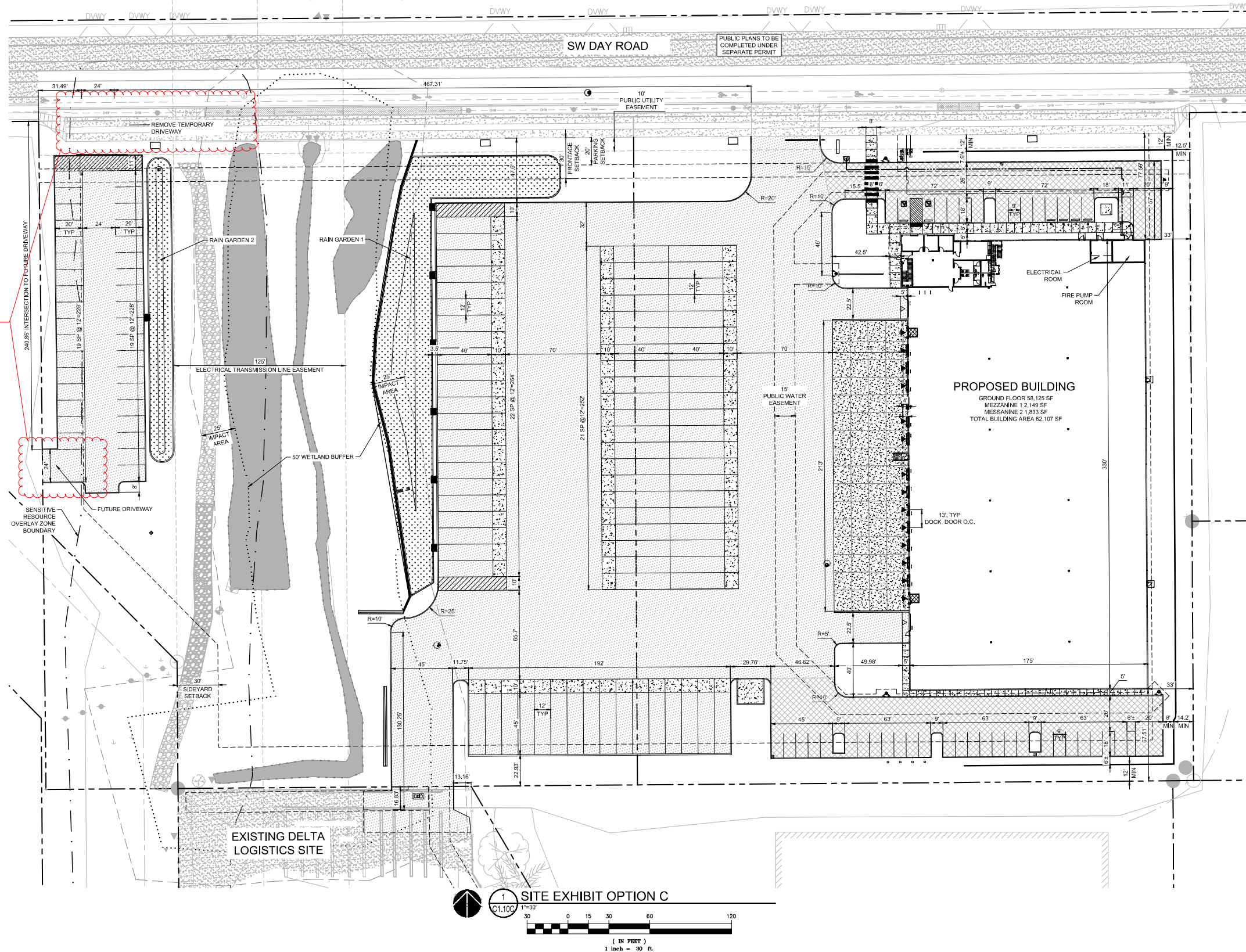
REVISION SCHEDULE		
Date	Issued As	Issue Date

SHEET TITLE:
**SITE EXHIBIT
OPTION C**

DRAWN BY:
CHECKED BY:
SHEET

C1.10C

JOB NO. **2200502.04**



OPTION II, PHASE 2:

When future Supporting Street is constructed to west, Phase 2 requires construction of new driveway onto it, and closure of interim driveway on SW Day Road (including removal of ramp apron and installation of curb and street landscape strips).



Architecture - Interiors
Planning - Engineering

Seattle, WA
360.955.7079
www.mackenzie.com

MACKENZIE

Client

DELTA LOGISTICS
9835 SW COMMERCE
CIRCLE
WILSONVILLE, OR 97070

Project

DELTA LOGISTICS
SITE EXPANSION

9710 SW DAY RD.
CITY OF
WILSONVILLE, OR



EXPIRES: 12/31/24

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REVISION SCHEDULE		
Rev	Issued As	Issue Date
1	PLAN CHECK	06/10/2022
2	LAND USE	07/26/2022
3	LAND USE	11/15/2022

SITE PLAN

SHEET

C1.10

JOB NO. **2200502.00**

SITE COVERAGE SUMMARY

BUILDING FOOTPRINT AREA:	58,125 SF	1.33 AC
PARKING AND PAVING AREA:	161,293 SF	3.70 AC
LANDSCAPE AREA:	117,433 SF	2.70 AC
TOTAL DEVELOPMENT AREA:	336,851 SF	7.73 AC
TOTAL SITE AREA (AFTER DEDICATION):	386,719 SF	8.88 AC

SITE PARKING SUMMARY

TRAILERS (50'X12'):	79 STALLS
PASSENGER VEHICLES (18'X9'):	39 STALLS
ACCESSIBLE STALLS:	2 STALLS
TOTAL VEHICLE STALLS:	41 STALLS

NO BIKE PARKING REQUIRED

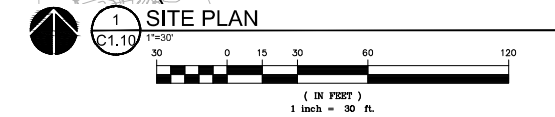
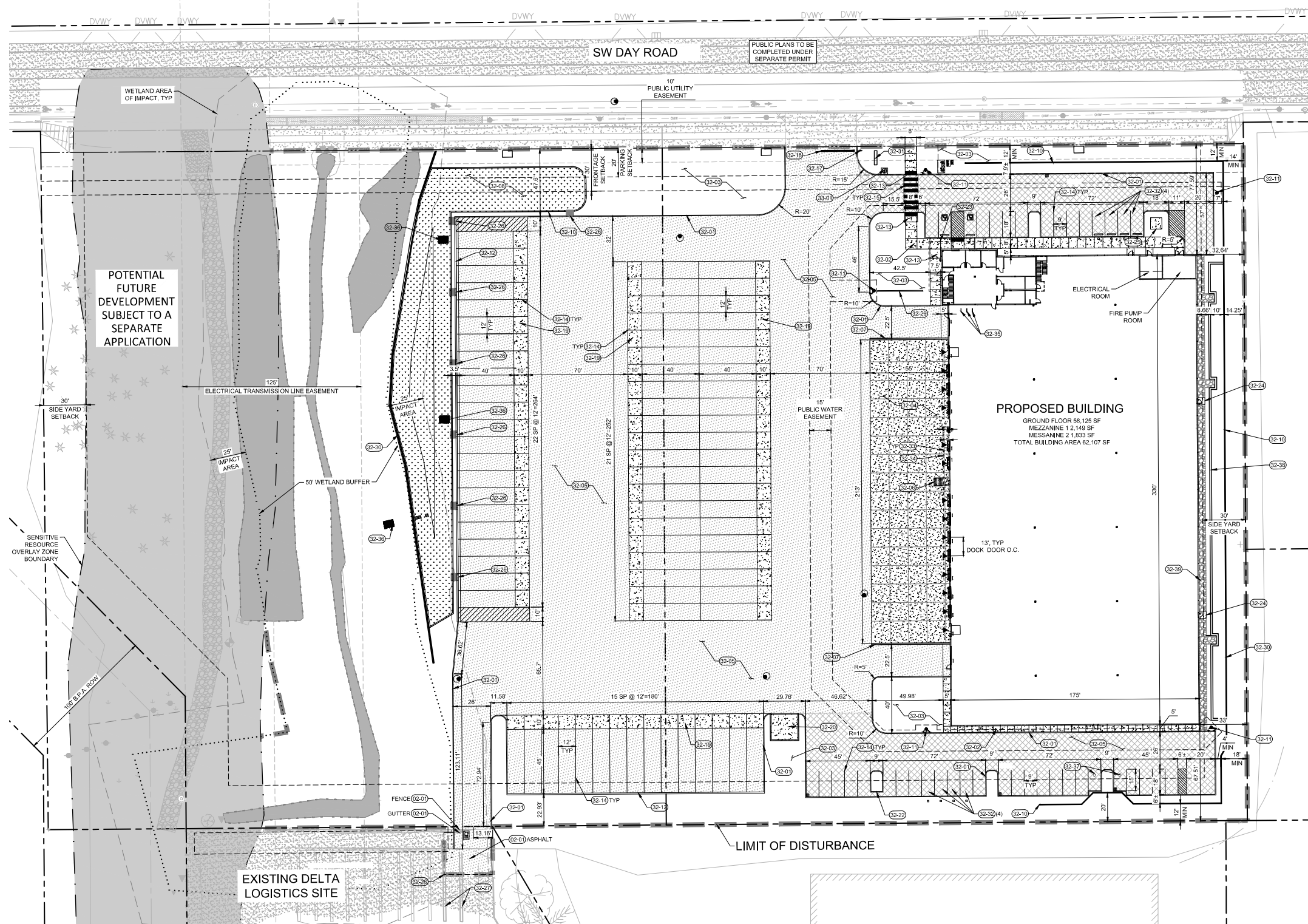
PAVEMENT LEGEND

*PAVEMENT SECTIONS PER GEODESIGN. SEE APPENDIX IN PROJECT SPECIFICATIONS

	SECTION PER SUBSURFACE CONDITION:	
	BEDROCK	SOIL SUBGRADE
LIGHT PAVEMENT (NO TRUCK TRAFFIC)	2.5" AC OVER 4.0" BASE ROCK	2.5" AC OVER 8.0" BASE ROCK
HEAVY TRUCK PAVEMENT: (APPROX. 50 TPD)	4.0" AC OVER 4.0" BASE ROCK	5.0" AC OVER 18.0" BASE ROCK
CONCRETE SECTION:	6" PCC WITH #4 @ 24" O.C. OVER 6" OF CRUSHED ROCK BASE. SUBGRADE TO BE COMPACTED TO GEOTECHNICAL REPORT SPECIFICATIONS	

KEYNOTES

- 02-01 REMOVE EXISTING AS NOTED
- 32-01 CONCRETE VERTICAL CURB, PER DETAIL 11/C5.10
- 32-02 CONCRETE SIDEWALK, PER DETAIL 7/C5.10
- 32-03 LANDSCAPE AREA, SEE LANDSCAPE PLANS
- 32-04 CONCRETE TRUCK DOCK, SEE PAVEMENT LEGEND
- 32-05 ASPHALT PAVING AREA, SEE PAVEMENT LEGEND
- 32-06 DOCK STAIR, PER ARCHITECTURAL DETAIL
- 32-07 DOCK RETAINING WALL, PER ARCHITECTURAL DETAIL
- 32-08 RAIN GARDEN 1, PER DETAIL 7/C5.12
- 32-10 DESIGN-BUILD SOIL NAIL WALL, OR APPROVED EQUAL. SEE WALL PLAN FOR DETAILS
- 32-11 FIRE HYDRANT ASSEMBLY WITH BOLLARD PROTECTION, BOLLARD, PER DETAIL 2 AND 3/C5.10. SEE UTILITY PLAN FOR FIRE HYDRANT DETAILS
- 32-12 12" HIGH X 12" WIDE CURB AT TRUCK TRAILER PARKING STALLS, PER DETAIL 3/C5.10. ADD GUTTER WHERE FLOW LINE SLOPE IS LESS THAN 1%, PER DETAIL 9/C5.12
- 32-13 PERPENDICULAR CURB RAMP, PER DETAIL 12/C5.10
- 32-14 4" WHITE PARKING STRIPE, PER SPECIFICATIONS
- 32-15 12" WIDE CROSSWALK STRIPE, PER SPECIFICATIONS
- 32-16 12" WIDE WHITE STOP BAR STRIPE
- 32-17 STOP SIGN, PER DETAIL 14/C5.10
- 32-19 10" WIDE TRAILER LANDING GEAR STRIP, 6" PCC W/ #4 @ 24" O.C. EACH WAY OVER 4" CRUSHED ROCK BASE. SEE DETAIL 8/C5.10 FOR CONCRETE TO ASPHALT TRANSITION
- 32-20 19'X29' CONCRETE PAD FOR TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR TRASH ENCLOSURE DETAIL
- 32-22 3" CHANNEL, PER DETAIL 1/C5.12
- 32-23 PARALLEL CURB RAMP, PER DETAIL 13/C5.10
- 32-24 5' X 5' CONCRETE LANDING, PER DETAIL 7/C5.10
- 32-25 8' X 8' CONCRETE PAD FOR GENERATOR. SEE MEP PLAN
- 32-26 3" WIDE CURB BREAK AT 50' O.C., PER DETAIL 9/C5.10
- 32-27 PAINT OVER EXISTING TRAILER STALL PARKING WITH BLACK PAINT
- 32-28 FULL DEPTH SAW CUT, PER DETAIL 2/C5.10
- 32-29 SCREEN WALL, PER ARCHITECTURAL DETAIL 9/A5.10
- 32-30 3" HIGH GUARDRAIL TO BE EMBEDDED IN RETAINING WALL AT ALL LOCATIONS WHERE WALL HEIGHT IS GREATER THAN 30". SEE RETAINING WALL PROFILES AND DETAILS 3 AND 4/C5.12
- 32-31 MOVEMENT SIGN, SEE LANDSCAPE PLANS FOR DETAILS
- 32-32 FUTURE ELECTRIC VEHICLE PARKING STALL, SEE ELECTRICAL PLANS FOR DETAILS
- 32-33 3" WIDE ISOLATED ROW, SEE DETAIL 12/C5.11
- 32-34 BUILDING CANOPY, SEE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS.
- 32-35 3 BIKE RACKS, SEE ARCHITECTURAL PLANS FOR DETAILS
- 32-36 RIP RAP AT PIPE OUTFALL, PER DETAIL 7/C5.12. SEE UTILITY PLANS FOR LOCATION
- 32-37 15' LONG COMPACT STALL
- 32-38 2' TALL SEAT WALL, SEE LANDSCAPE PLANS FOR GEOMETRY AND MATERIAL
- 32-39 5' WIDE GRAVEL PATH, 4" THICK 3/4"-0 CRUSHED ROCK AGGREGATE
- 32-01 FDC CONNECTION, PER DETAIL 16/C5.10. SEE UTILITY PLAN



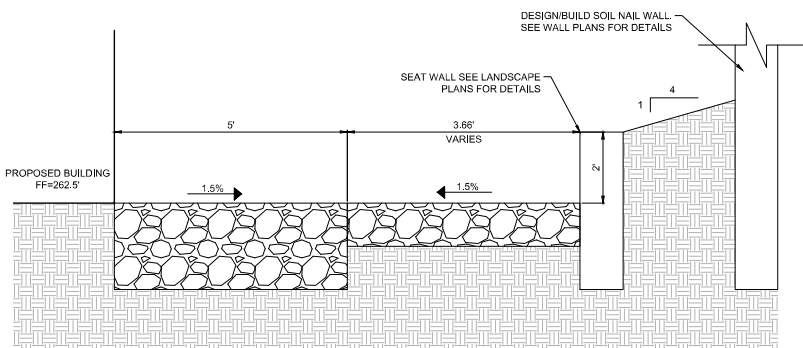
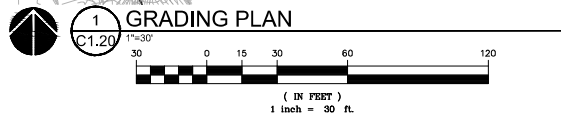
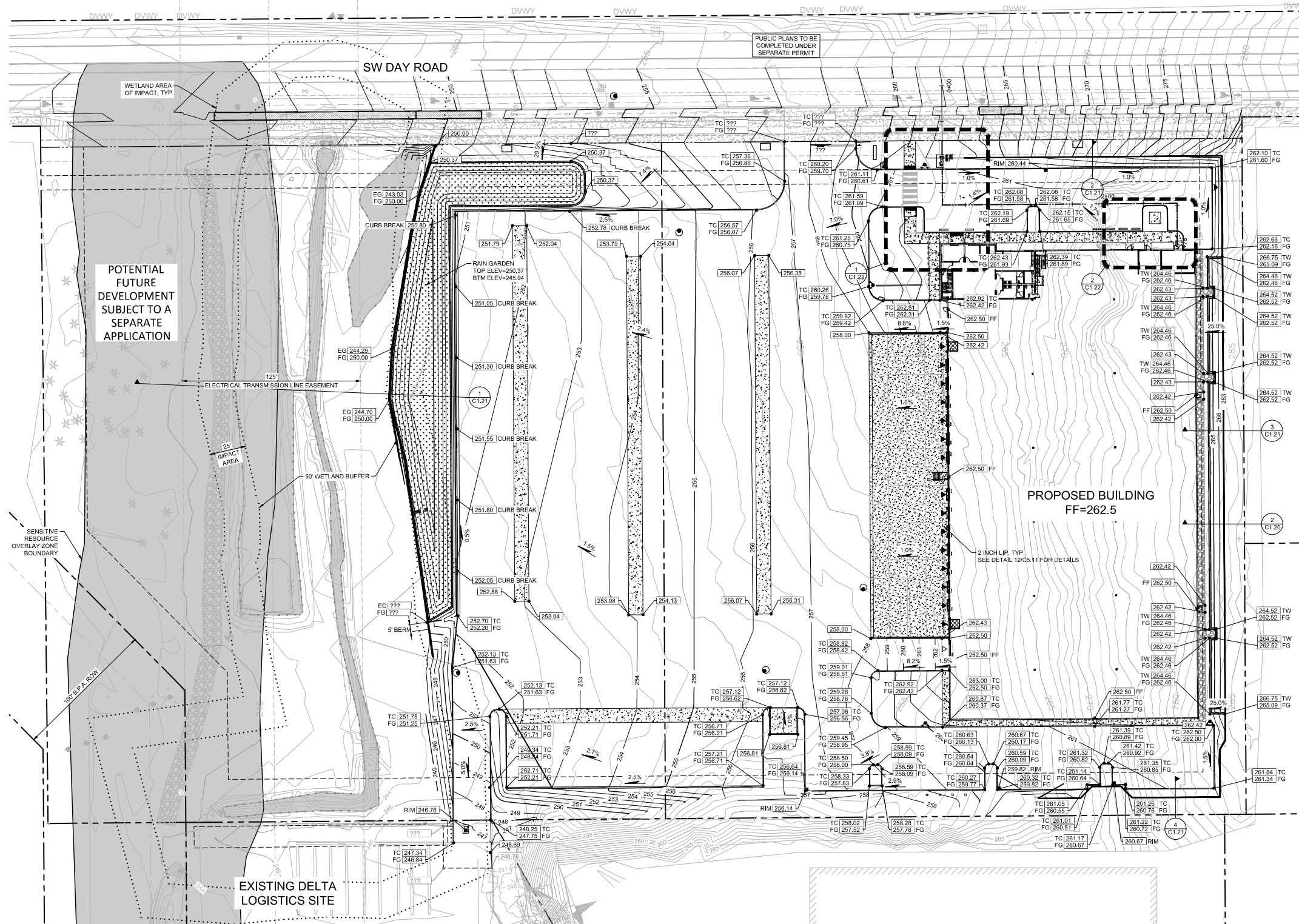
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REVISION SCHEDULE		
Date	Issued As	Issue Date
1	PLAN CHECK	06/10/2022
2	LAND USE	11/15/2022

GRADING PLAN



2 WALL SECTION
 C1.20 NTS

SHEET

C1.20





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REVISION SCHEDULE		
Delta	Issued As	Issue Date
A	REV 1	7/26/22

SHEET TITLE:
BUILDING ELEVATIONS

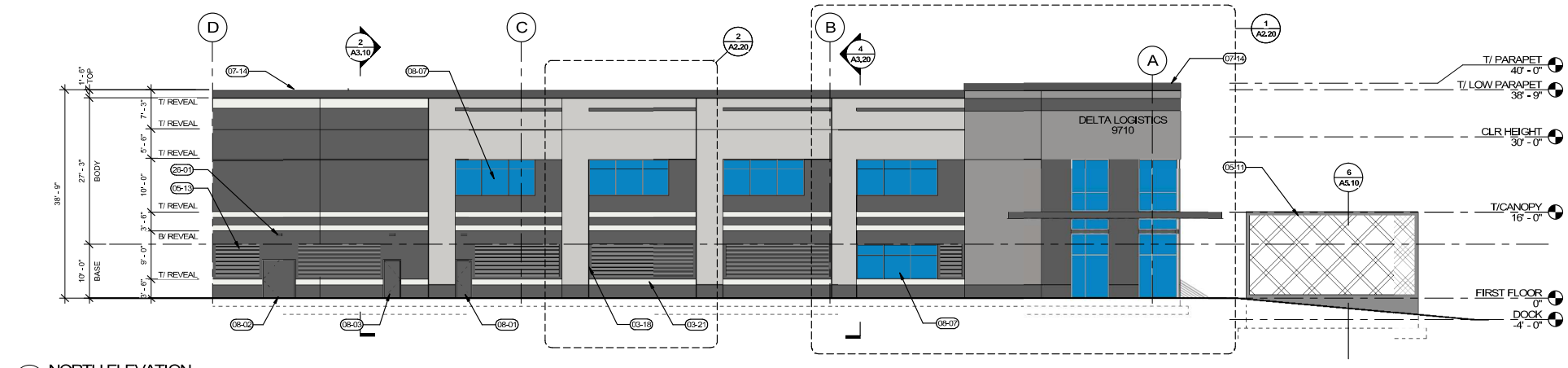
SHEET

A2.10

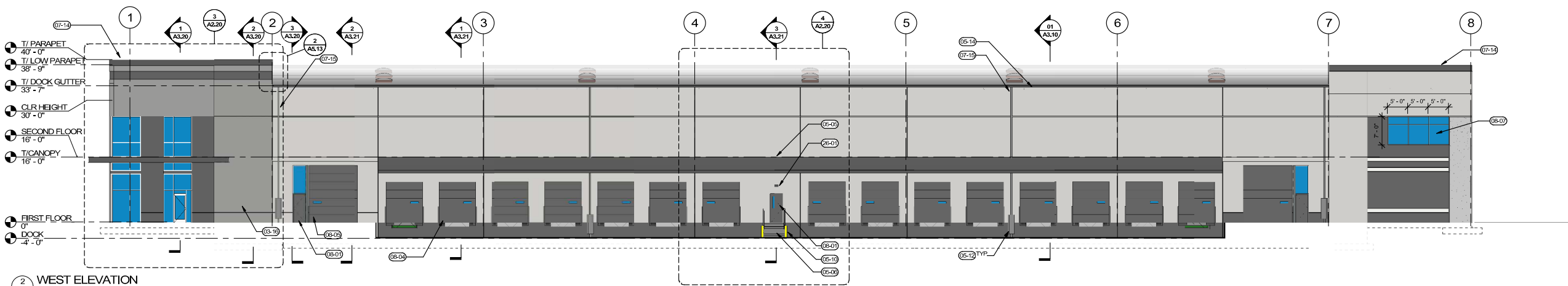
JOB NO. 2200502.00

KEYNOTES

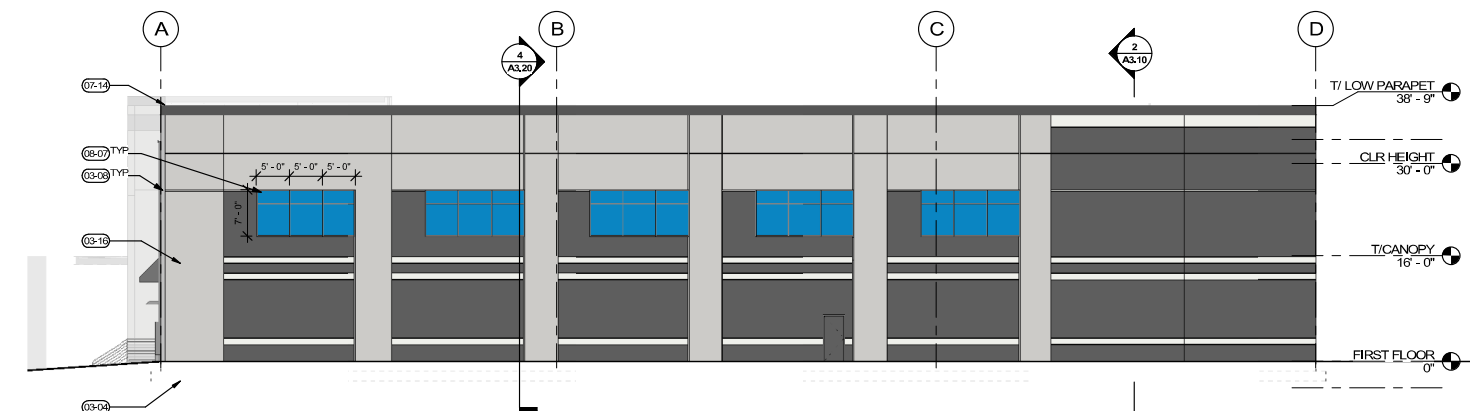
- 03-04 CONCRETE FOOTING, SEE STRUCTURAL
- 03-08 WRAP REVEALS AROUND EDGE OF CONCRETE PANEL
- 03-16 TILT-UP CONCRETE PANEL, SEE STRUCTURAL
- 03-18 1" REVEAL 'A', SEE DETAIL 9/AS.11
- 03-21 12" REVEAL W/ 1/2" DEPTH, SEE DETAIL 5/AS.11
- 05-05 CONTINUOUS CFS DOCK CANOPY WITH SHEET METAL ROOF, SEE DETAIL 7/AS.13
- 05-06 STEEL ACCESS STAIRS, SEE DETAILS 1-4/AS.12
- 05-10 STEEL BOLLARD, SEE DETAIL 6/AS.12
- 05-11 PERFORATED ARCHITECTURAL METAL PANEL SCREENING WALL, FASTENED TO HSS FRAME PER STRUCT, SEE DETAILS 4-9/AS.10
- 05-12 DOWNSPOUT GUARD, SEE DETAIL 17/AS.11
- 05-13 PERFORATED ARCHITECTURAL METAL PANELS FASTENED TO CONCRETE WALLS WITH VERT. HAT CHANNELS, SEE DETAIL 7/AS.10
- 05-14 SHEET METAL GUTTER TO MATCH PARAPET COPING, SEE DETAIL 11/AS.13
- 07-14 SHEET METAL PARAPET FLASHING, SEE DETAIL 11/AS.13
- 07-15 DOWNSPOUT, SEE DETAIL XX.XX
- 06-01 INSULATED HM PERSONNEL DOOR, PAINT PER ELEVATIONS, SEE DOOR SCHEDULE
- 06-02 INSULATED DOUBLE HM PERSONNEL DOOR, PAINT PER ELEVATIONS, SEE DOOR SCHEDULE
- 06-03 INSULATED HM PERSONNEL DOOR AT ELECTRICAL ROOM, PAINT PER ELEVATIONS, SEE DOOR SCHEDULE
- 06-04 9'-0" X 10'-0" OHD INSULATED HIGH-LIFT DOCK DOOR, PAINT P-1, SEE DOOR SCHEDULE
- 06-05 12'-0" X 14'-0" OHD INSULATED DRIVE-IN DOOR WITH 3'-0" X 7'-0" PERSONNEL DOOR, PAINT P-1, WITH 1" INSULATED TRANSOM WINDOW ABOVE, SEE DOOR SCHEDULE
- 06-07 STOREFRONT WINDOW, SEE DETAILS 1-3/AS.20
- 26-01 EXTERIOR LIGHT, DESIGN-BUILD ELECTRICAL TO VERIFY ALL REQUIREMENTS, COORDINATE WITH A/E IF LOCATIONS ARE TO CHANGE, SEE CIVIL FOR ADDITIONAL INFORMATION, SHOE BOX STYLE, DARK ANODIZED FINISH AND FULL CUT OFF.



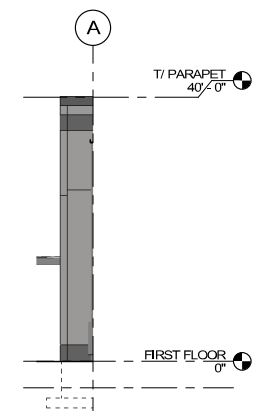
1 NORTH ELEVATION
A2.10 3/32" = 1'-0"



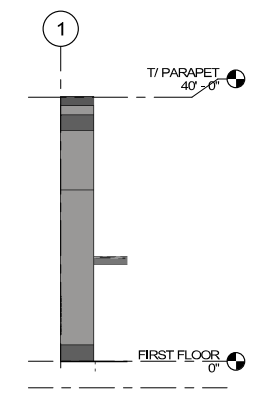
2 WEST ELEVATION
A2.10 3/32" = 1'-0"



3 SOUTH ELEVATION
A2.10 3/32" = 1'-0"



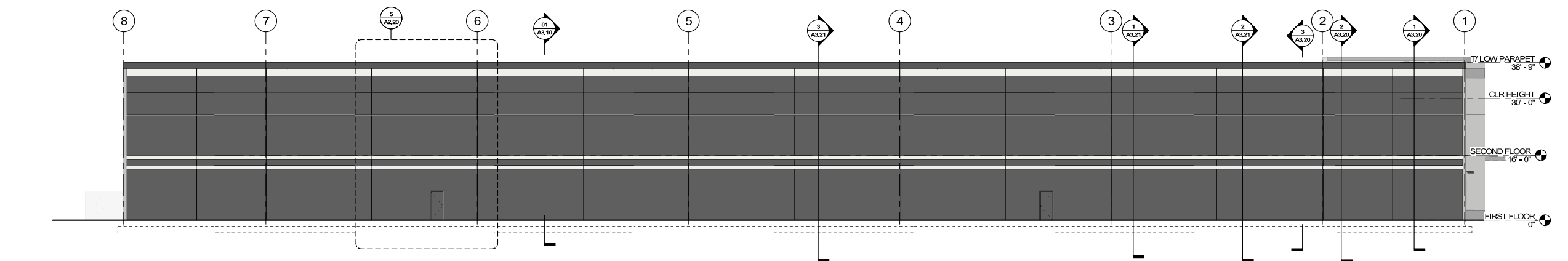
4 SOUTH RETURN WALL
A2.10 3/32" = 1'-0"



5 EAST RETURN WALL
A2.10 3/32" = 1'-0"

PAINT LEGEND

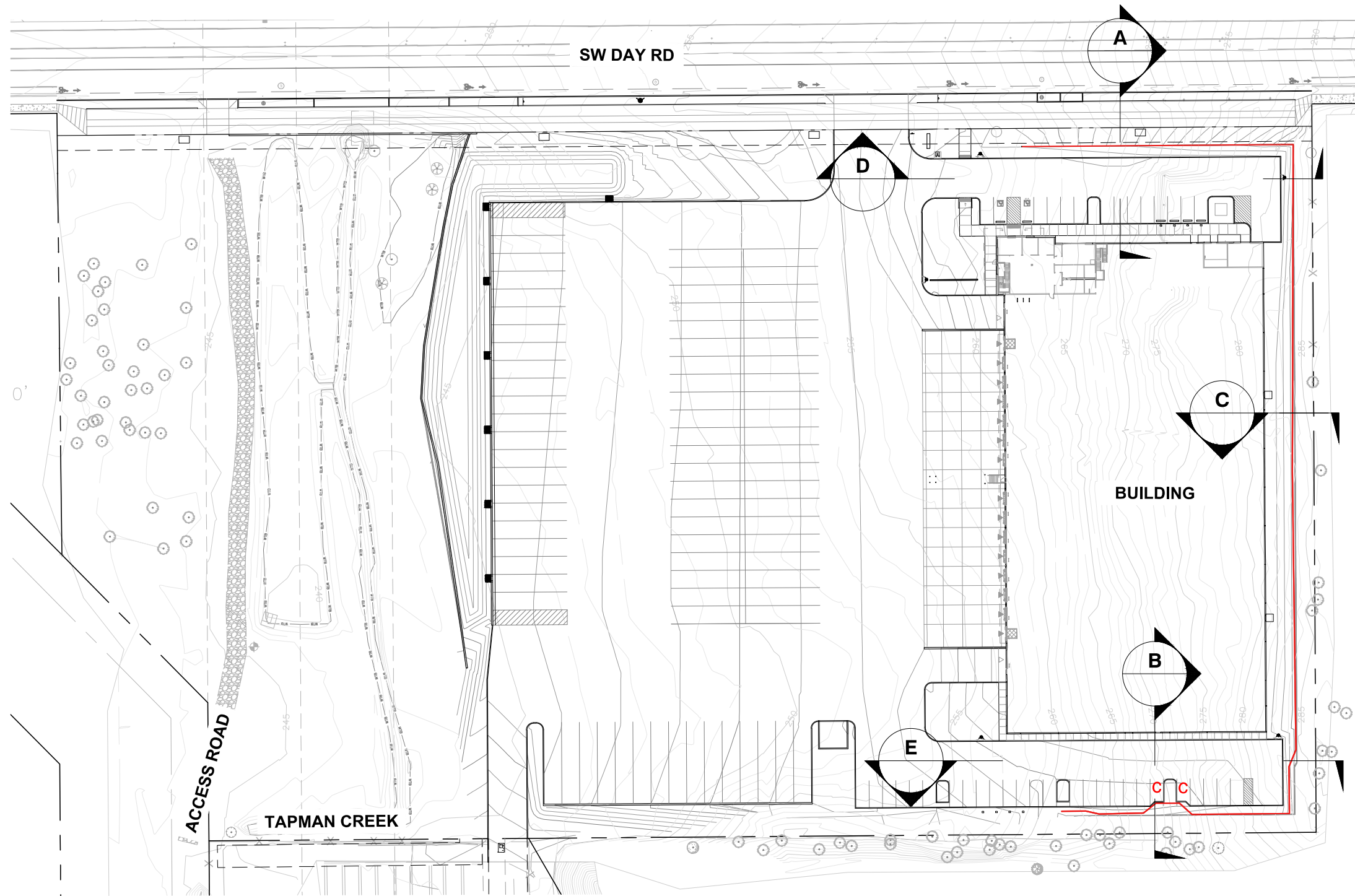
- SW 7006 / EXTRA WHITE
- SW 7667 / ZIRCON
- SW 7670 / GRAY SHINGLE
- SW 7674 / PEPPER CORN



6 EAST ELEVATION
A2.10 3/32" = 1'-0"



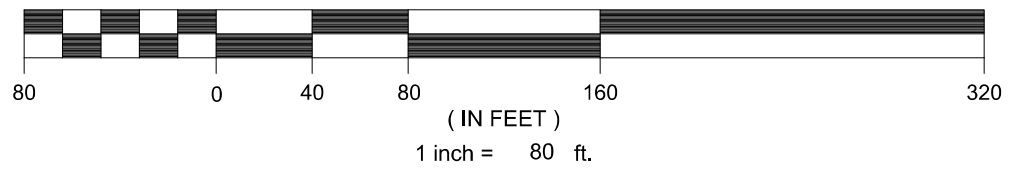


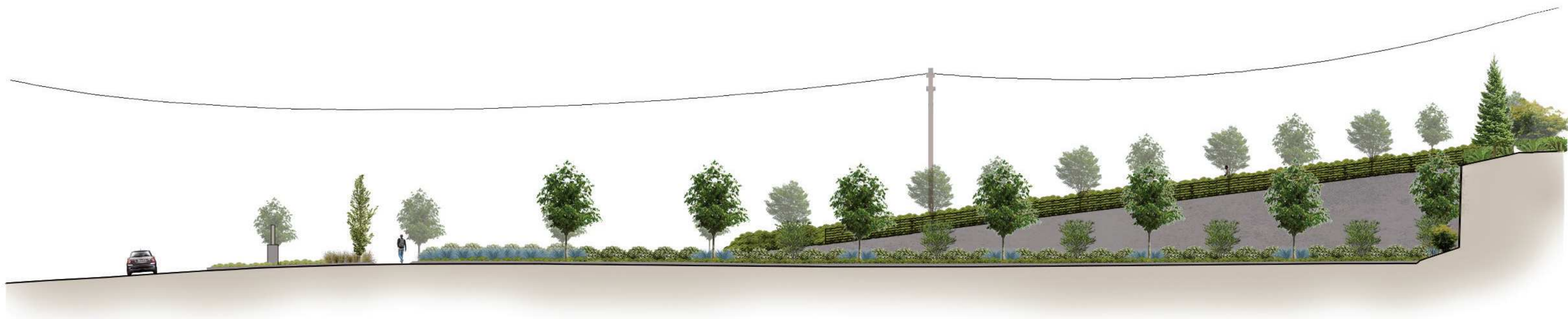


Nail Wall Texture



Seat Wall Texture





SECTION D - 5 years
LOOKING NORTH TOWARDS SW DAY RD



SECTION D - 20 years
LOOKING NORTH TOWARDS SW DAY RD



SECTION A - 5 years
LOOKING EAST THROUGH NORTH PARKING AREA



SECTION B - 5 years
LOOKING EAST THROUGH SOUTH PARKING AREA



SECTION A - 20 years
LOOKING EAST THROUGH NORTH PARKING AREA



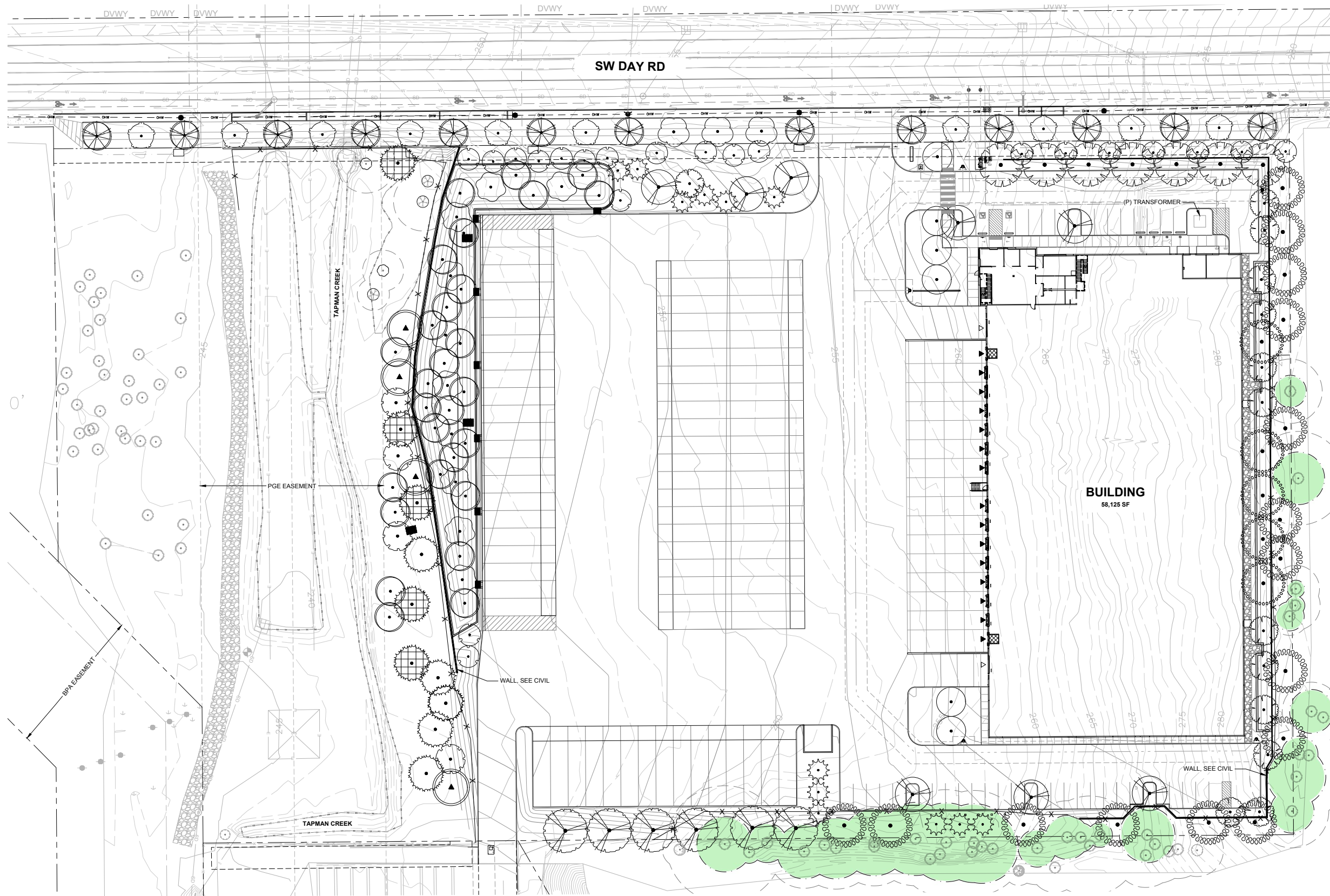
SECTION B - 20 years
LOOKING EAST THROUGH SOUTH PARKING AREA



SECTION E - 5 years
LOOKING SOUTH TOWARDS SOUTH PROPERTY LINE



SECTION E - 20 years
LOOKING SOUTH TOWARDS SOUTH PROPERTY LINE



PROPOSED TREES

ACCENT TREES	QTY	BOTANICAL / COMMON NAME
	6	ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE
	21	AMELANCHIER ALNIFOLIA 'AUTUMN BRILLIANCE' SERVICEBERRY
	13	CORNUS KOUSA X NUTTALLII 'KN4-43' STARLIGHT KOUSA DOGWOOD
PRIMARY TREES	QTY	BOTANICAL / COMMON NAME
	15	PSEUDOTSUGA MENZIESII DOUGLAS FIR
	6	QUERCUS GARRYANA OREGON WHITE OAK
	5	THUJA PLICATA WESTERN RED CEDAR
	7	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE SAWLEAF ZELKOVA
SECONDARY TREES	QTY	BOTANICAL / COMMON NAME
	12	CALOCEDRUS DECURRENS INCENSE CEDAR
	8	TILIA TOMENTOSA 'STERLING' STERLING SILVER LINDEN
STORMWATER TREES	QTY	BOTANICAL / COMMON NAME
	4	ACER MACROPHYLLUM BIG LEAF MAPLE
	10	CORNUS X 'EDDIE'S WHITE WONDER' EDDIE'S WHITE WONDER DOGWOOD
	4	FRAXINUS LATIFOLIA OREGON ASH
	5	PINUS PONDEROSA VAR. BENTHAMIANA WILLAMETTE VALLEY PONDEROSA PINE
	5	PSEUDOTSUGA MENZIESII DOUGLAS FIR
	28	RHAMNUS PURSHIANA CASCARA BUCKTHORN
STREET TREES	QTY	BOTANICAL / COMMON NAME
	13	ACER GRANDIDENTATUM 'SCHMIDT' TM ROCKY MOUNTAIN GLOW MAPLE
	3	CORNUS KOUSA 'MILKY WAY' MILKY WAY KOUSA DOGWOOD
	10	PARROTIA PERSICA 'INGE'S RUBY VASE' TM RUBY VASE PERSIAN PARROTIA

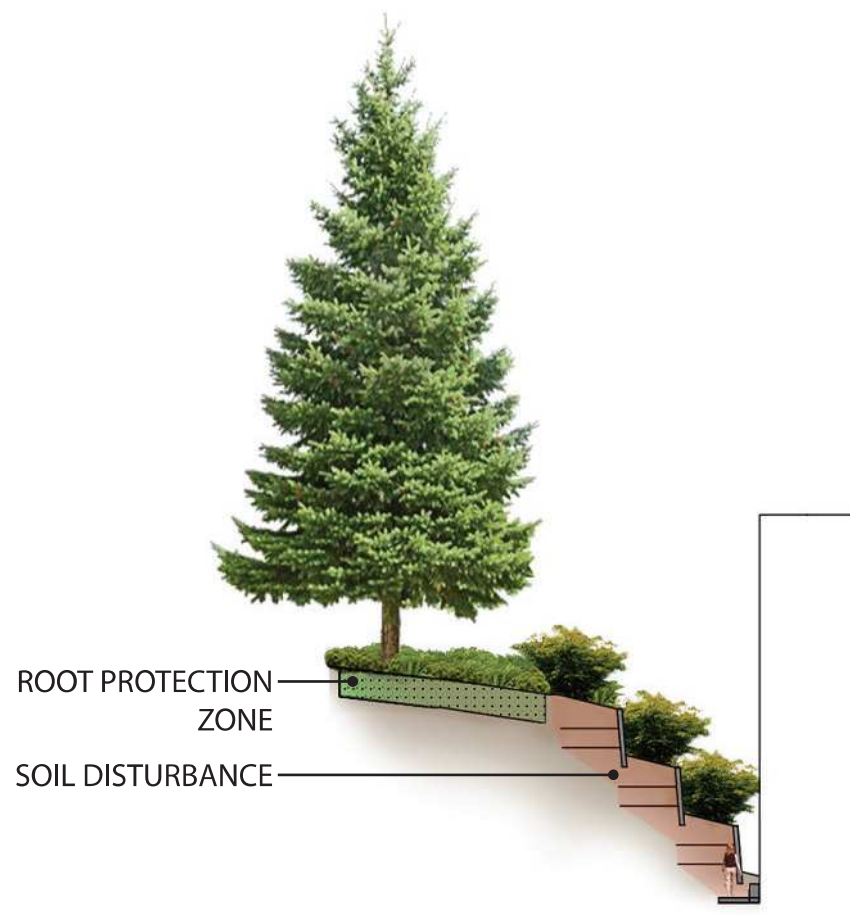
NOTE
 1. OFFSITE TREES IMPACTED BY ONSITE IMPROVEMENT ON ADJACENT PRIVATE PROPERTY ARE RECOMMENDED FOR REMOVAL AND MITIGATION CONTINGENT UPON APPROVAL OF ADJACENT PROPERTY OWNER.

FULL ROOT PROTECTION ZONE
 MINIMUM CONSTRUCTION SETBACK RADIUS

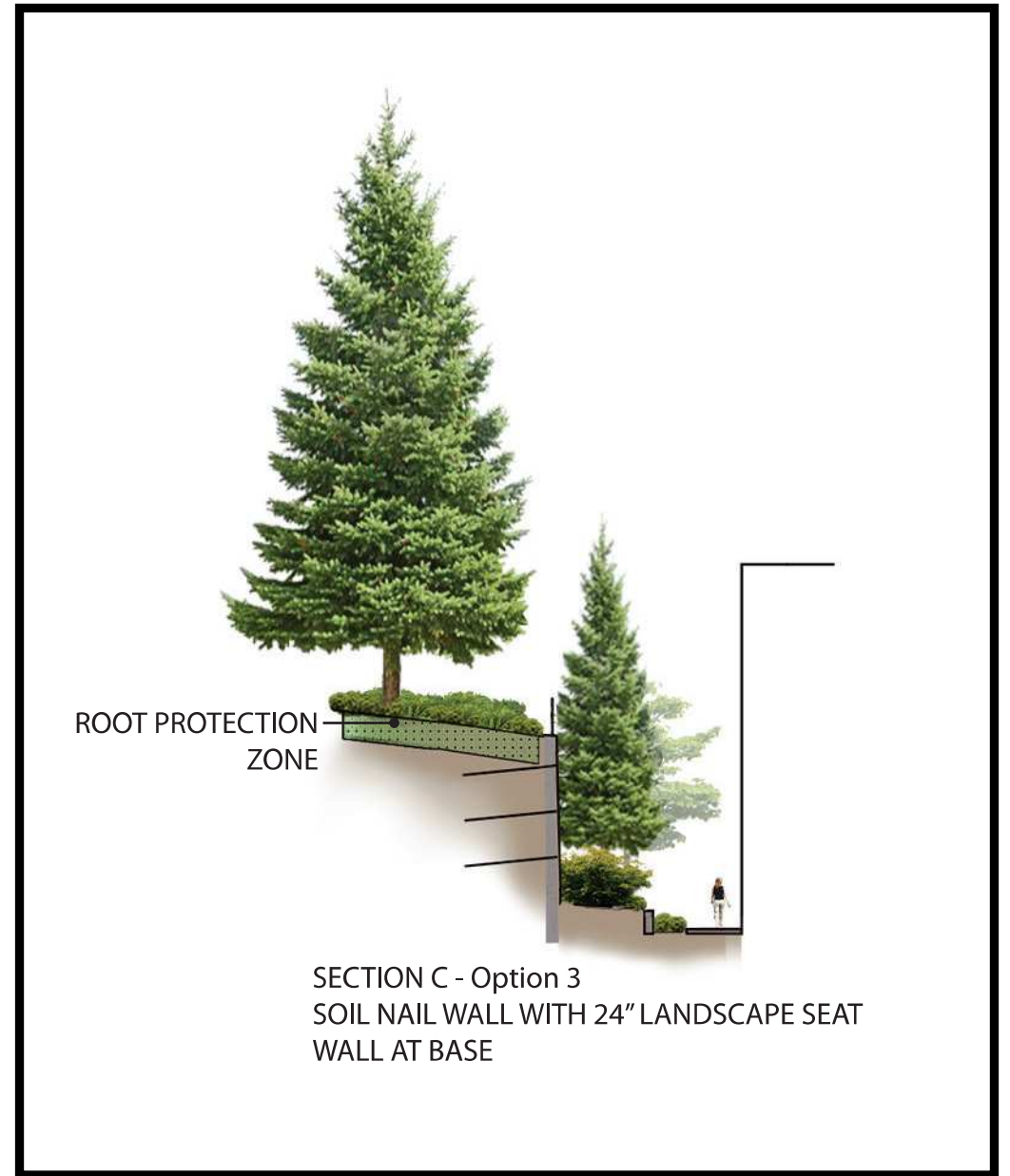




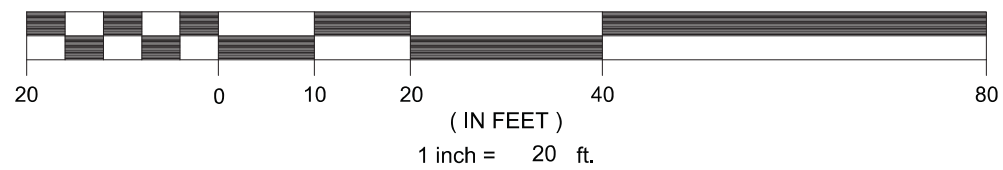
SECTION C - Option 1
PROPOSED WAIVER USING SOIL NAIL WALL



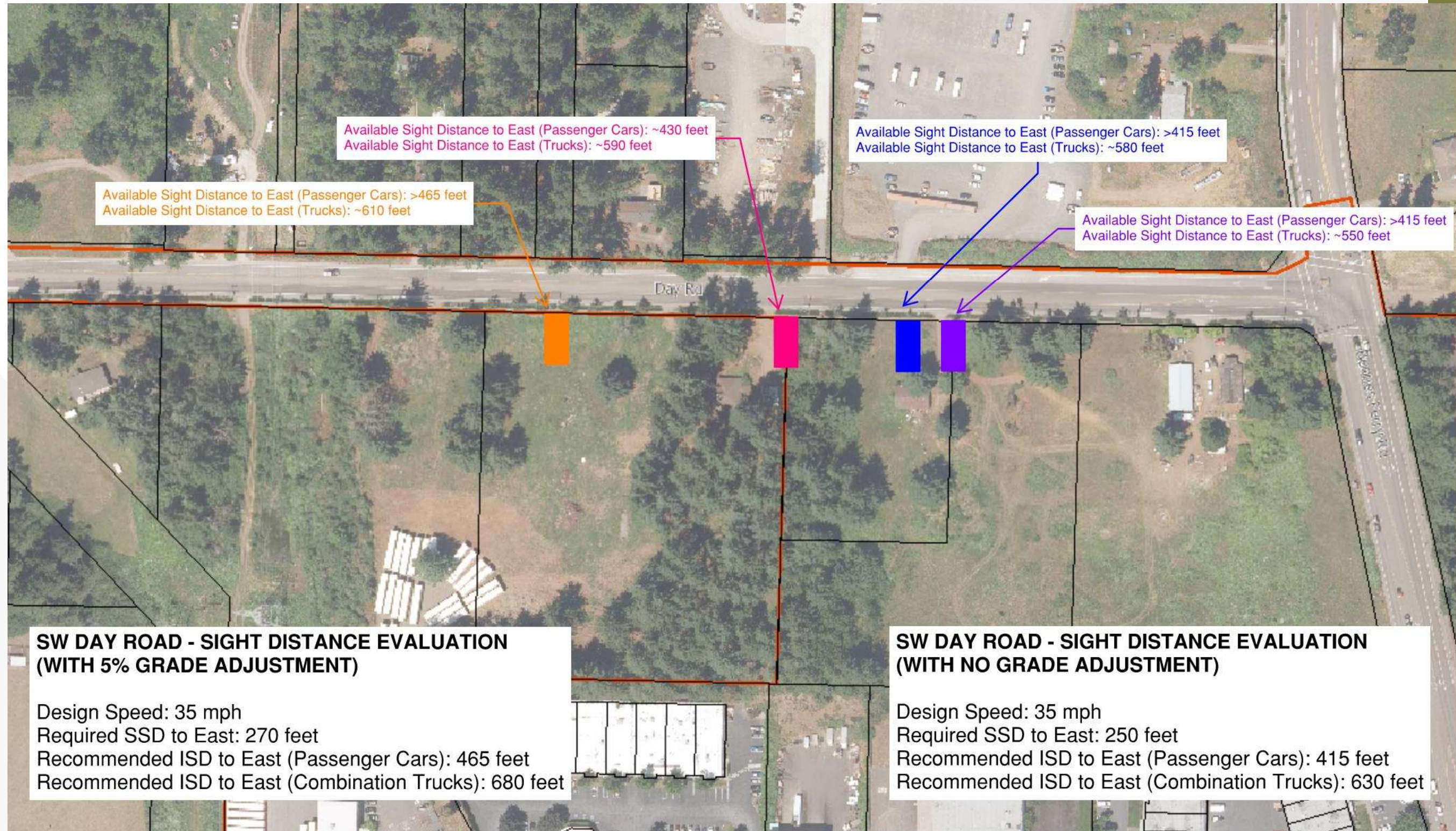
SECTION C - Option 2
D.R. MODIFICATION, NO WAIVER,
4.8' WALLS WITH 5' OFFSETS



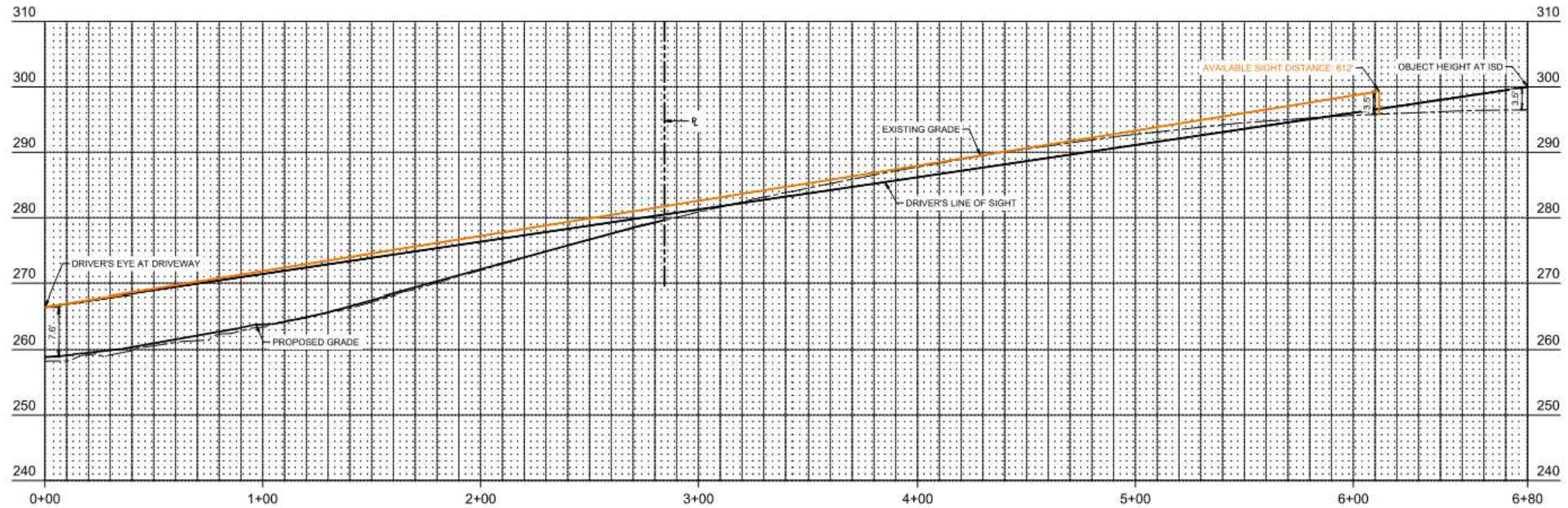
SECTION C - Option 3
SOIL NAIL WALL WITH 24" LANDSCAPE SEAT
WALL AT BASE



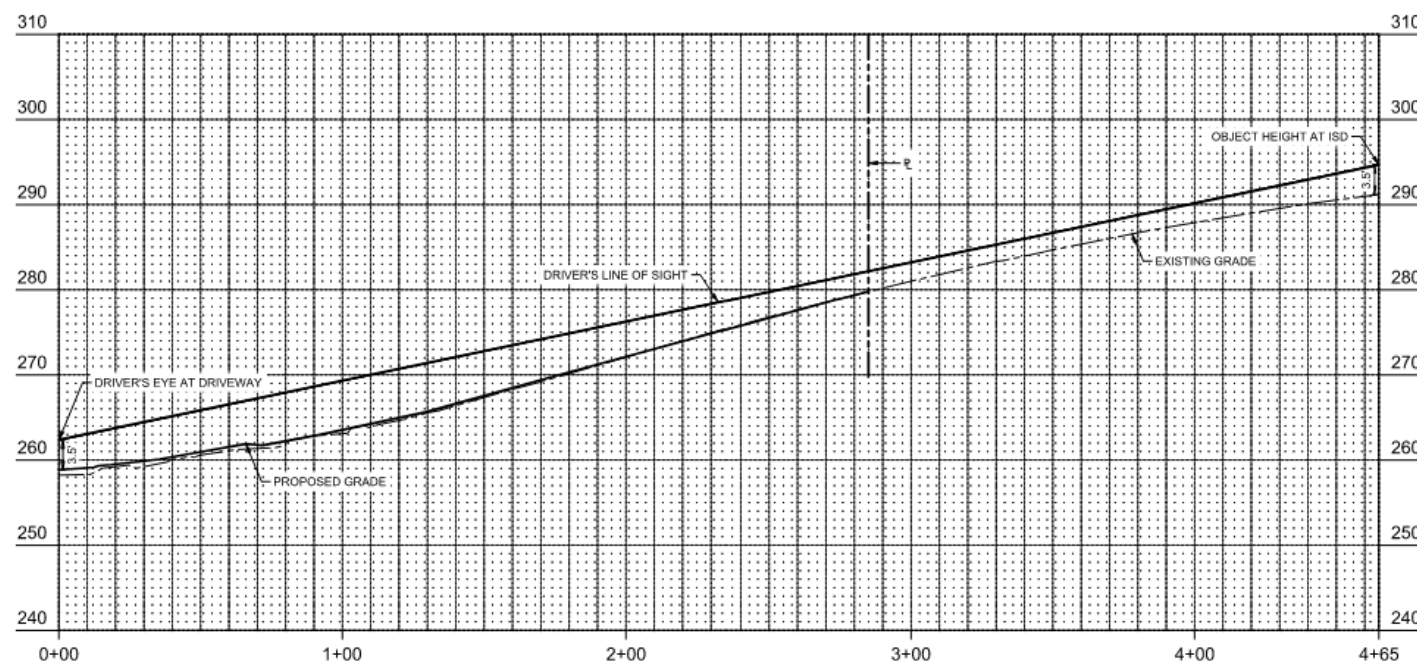
Alternative Driveway Review



Proposed Driveway Location



2 ISD PROFILE: COMBINATION TRUCK - EAST
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=10'



4 ISD PROFILE: PASSENGER CAR - EAST
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=10'

Available sight distance to east (trucks): ~610 feet

More than 465' available sight distance to east for passenger cars.



Figure I. Conceptual Connectivity Master Plan Concept 1

