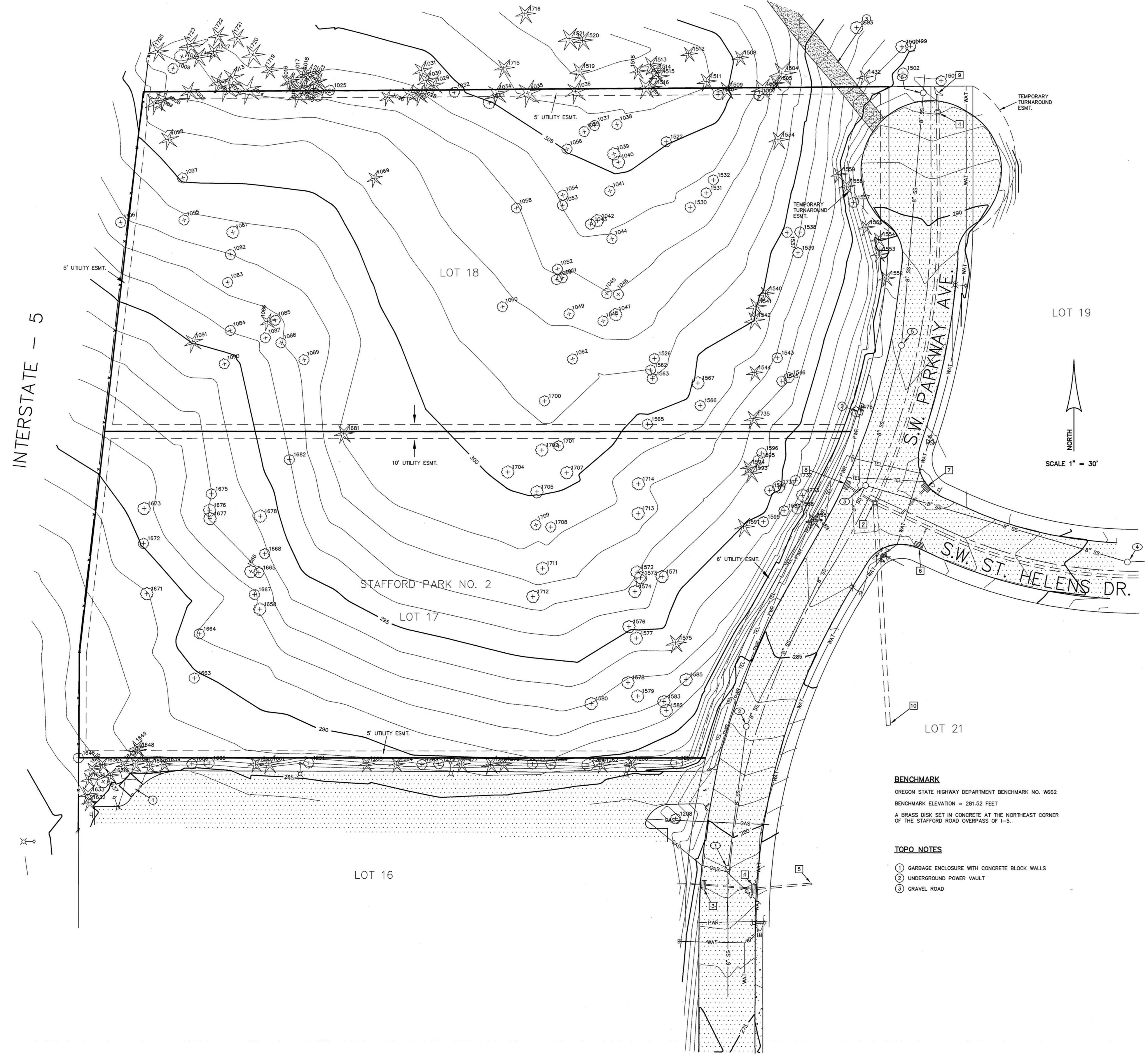


TOPOGRAPHIC SURVEY RASMUSSEN MERCEDES LAND ROVER

LOCATED IN LOTS 17 AND 18 OF
"STAFFORD PARK NO. 2"
IN THE NE 1/4 & SE 1/4 OF SECTION 2,
TOWNSHIP 3 SOUTH, RANGE 1 WEST, W.M.
CITY OF WILSONVILLE
WASHINGTON COUNTY, OREGON

SURVEYED: DECEMBER 2, 1996



LEGEND

- ☐ - TELEPHONE PEDESTAL
- GAS — - GAS LINE
- WAT — - WATER LINE
- PWR — - UNDER GROUND ELECTRIC LINES
- TEL — - UNDER GROUND TELEPHONE LINES
- SS — - SANITARY SEWER LINE
- - STORM SEWER LINE
- ⊕ - WATER VALVE
- ⊞ - CATCH BASIN
- - SANITARY MANHOLE (UNLESS NOTED OTHERWISE)
- ⊙ - STORM MANHOLE
- ⊕ - CABLE TELEVISION RISER
- ⊕ - FIRE HYDRANT
- ⊕ - STREET LIGHT
- ⊕ - DECIDUOUS TREE
- ⊕ - CONIFEROUS TREE
- ⊕ - SIGN
- ⊕ - FENCE LINE
- ⊕ - UTILITY POLE
- ⊕ - GUY ANCHOR
- ⊕ - MAIL BOX
- ⊕ - WATER METER

- ⊕ - EXISTING A/C PAVEMENT
- ⊕ - EXISTING CONCRETE
- ⊕ - EXISTING GRAVEL ROAD

BENCHMARK

OREGON STATE HIGHWAY DEPARTMENT BENCHMARK NO. W662
BENCHMARK ELEVATION = 281.52 FEET
A BRASS DISK SET IN CONCRETE AT THE NORTHEAST CORNER OF THE STAFFORD ROAD OVERPASS OF I-5.

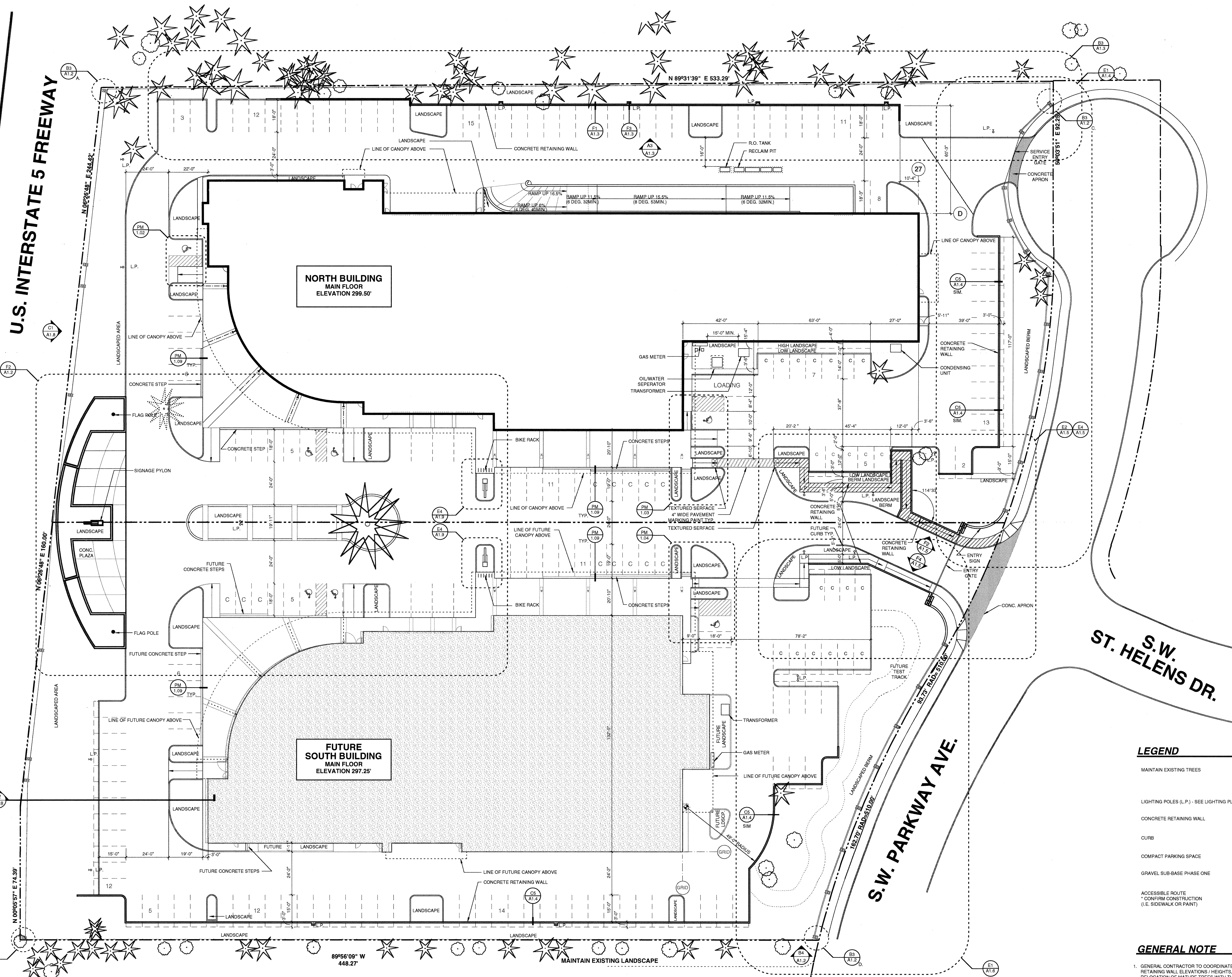
TOPO NOTES

- ① GARBAGE ENCLOSURE WITH CONCRETE BLOCK WALLS
- ② UNDERGROUND POWER VAULT
- ③ GRAVEL ROAD

SANITARY AND STORM SEWER NOTES

- ① SANITARY MANHOLE:
RIM EL. = 279.06'
- ② SANITARY MANHOLE:
RIM EL. = 283.32'
- ③ SANITARY MANHOLE:
RIM EL. = 287.13'
- ④ SANITARY MANHOLE:
RIM EL. = 281.09'
- ⑤ SANITARY MANHOLE:
RIM EL. = 288.20'
- ⑥ SANITARY MANHOLE:
RIM EL. = 294.38'
- ⑦ STORM MANHOLE:
RIM EL. = 293.09'
- ⑧ STORM MANHOLE:
RIM EL. = 287.48'
- ⑨ CATCH BASIN:
RIM EL. = 278.26'
I.E. IN W = 276.81' (6" PVC)
I.E. OUT SE = 275.71' (6" CONC.)
- ⑩ CATCH BASIN:
RIM EL. = 277.79'
I.E. IN W = 275.24' (6" CONC)
I.E. OUT SE = 275.28' (12" CONC.)
- ⑪ STORM DRAIN (OUTFALL TO POND)
I.E. OUT SE = 274.80' (12" CONC)
- ⑫ CATCH BASIN:
RIM EL. = 287.04'
I.E. OUT N = 282.62' (6" CONC)
- ⑬ CATCH BASIN:
RIM EL. = 286.61'
I.E. OUT SW = 282.36' (12" CONC)
- ⑭ CATCH BASIN:
RIM EL. = 286.83'
I.E. OUT SE = 282.73' (12" CONC)
- ⑮ STORM DRAIN (DITCH INLET)
I.E. IN NE = 288.11' (12" CONC)
- ⑯ STORM DRAIN (OUTFALL TO POND)
I.E. OUT SE = 277.18' (30" CONC)

PREPARED BY:
WRG DESIGN INC.
10450 S.W. NIMBUS AVE.
PORTLAND, OREGON 97223
PHONE: (503) 603-9933
JOB NO. LRS006



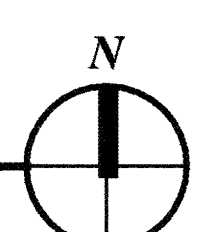
SITE PLAN
SCALE: 1" = 20'-0"

LEGEND

MAINTAIN EXISTING TREES	
LIGHTING POLES (L.P.) - SEE LIGHTING PLAN	
CONCRETE RETAINING WALL	
CURB	
COMPACT PARKING SPACE	
GRAVEL SUB-BASE PHASE ONE	
ACCESSIBLE ROUTE * CONFIRM CONSTRUCTION (I.E. SIDEWALK OR PAINT)	

- GENERAL NOTE**
- GENERAL CONTRACTOR TO COORDINATE ON SITE CONDITIONS FOR RETAINING WALL ELEVATIONS / HEIGHTS, BERMED LANDSCAPING, AND RELOCATION OF MATURE TREES WITH THE ARCHITECT, ARBORIST, LANDSCAPE ARCHITECT, AND CIVIL ENGINEER.
 - GENERAL CONTRACTOR TO COORDINATE SITE ELECTRICAL / UTILITY / SEWERS DISTRIBUTION WITH ARCHITECT, CIVIL, AND ELECTRICAL / MECHANICAL ENGINEER, AND UTILITY COMPANIES.
 - GENERAL CONTRACTOR TO CONFIRM EXTENT OF GRAVEL BASE WITH ARCHITECT AND OWNER.
 - SEE D4/A1.9 FOR ENTRY GATE

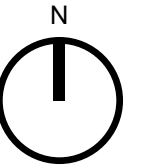
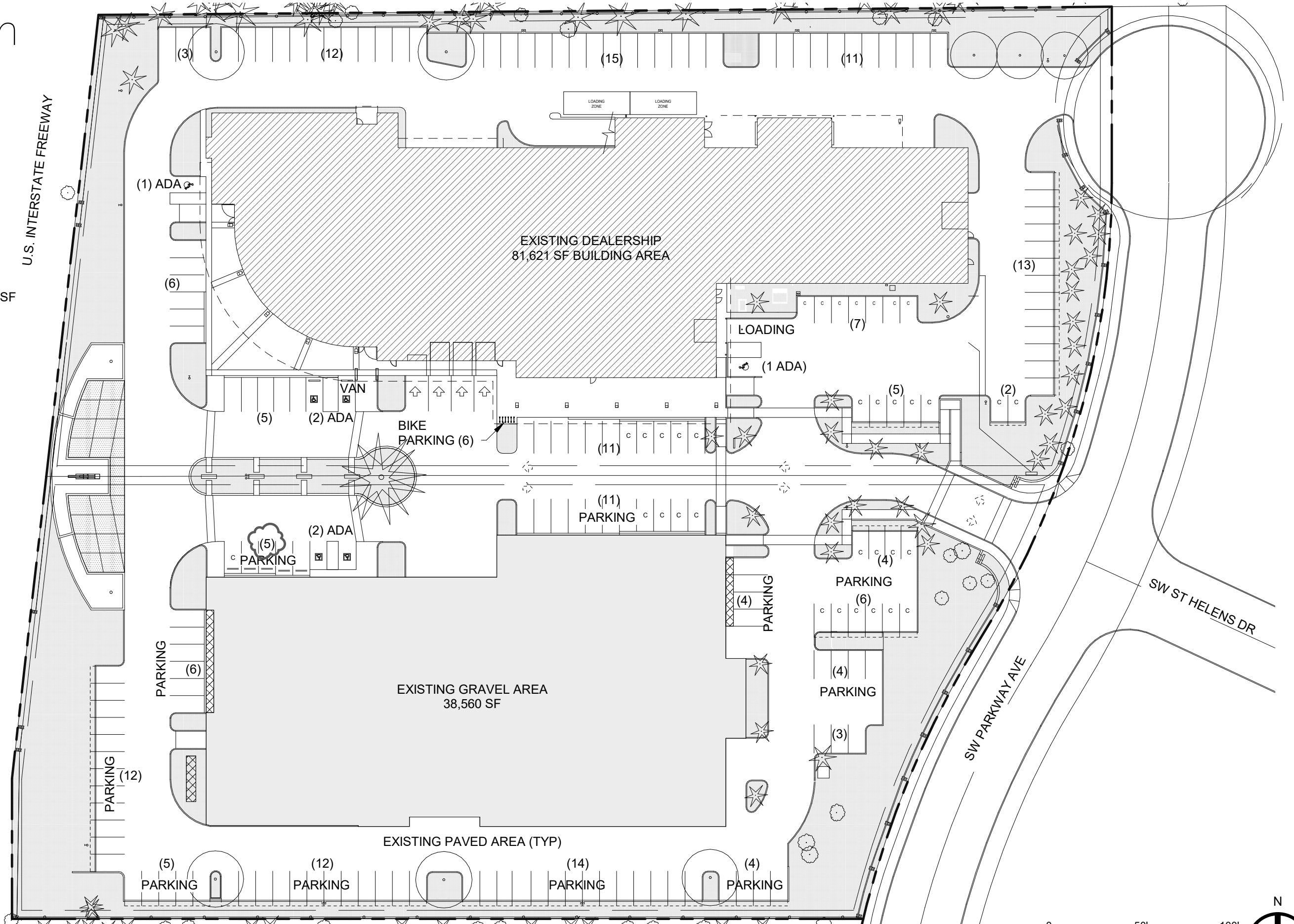
A
B
C
D
E
F



Site Plan

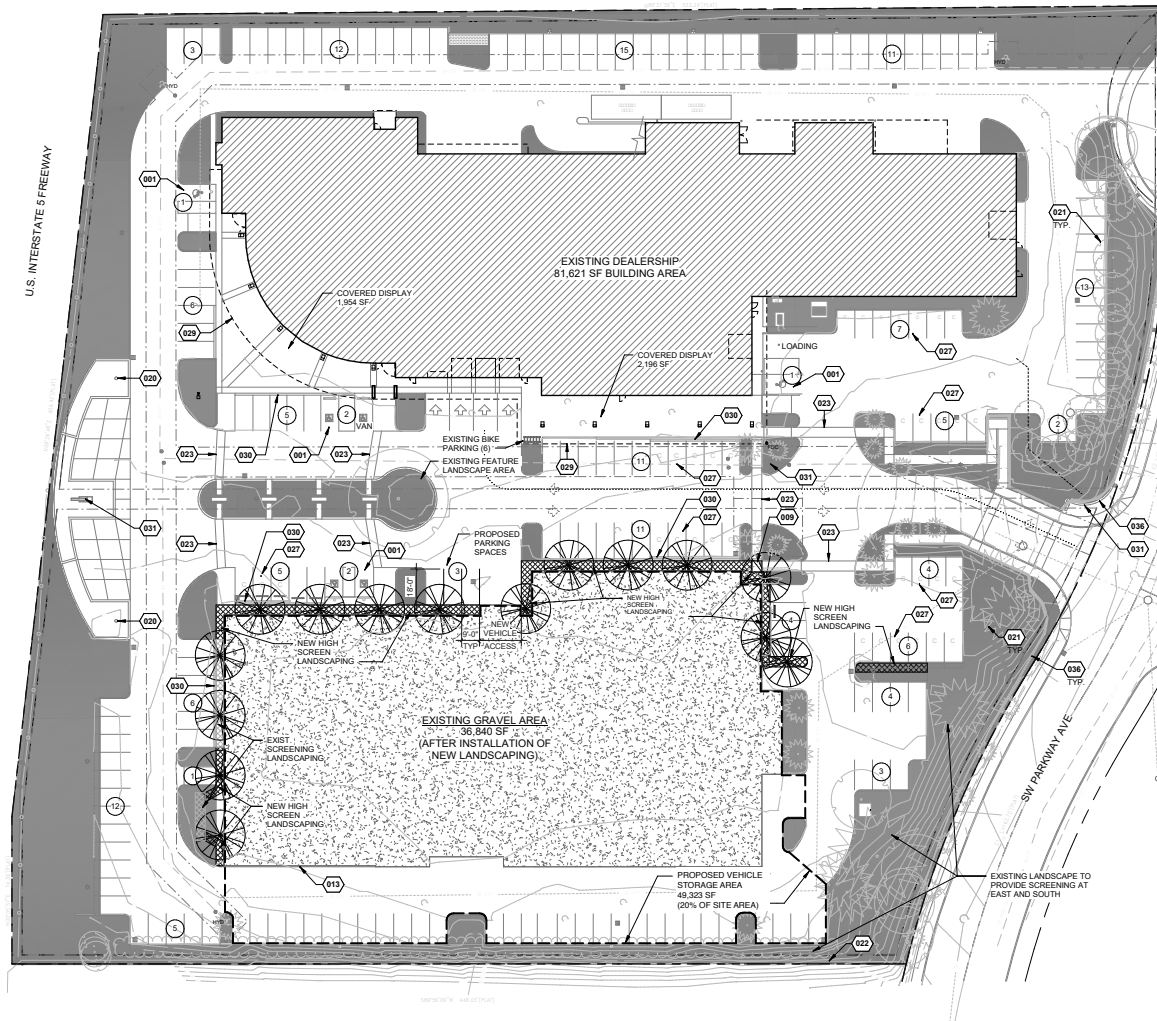
EXISTING

SITE AREA = 246,727 SF



STAGE II SITE PLAN

SOUTH LOT INVENTORY STORAGE



KEYNOTES

- 001 EXISTING ACCESSIBLE PARKING
- 009 PROPOSED CONCRETE PAD
- 013 EXISTING CURB
- 020 EXISTING FLAG POLE
- 021 EXISTING TREE TO REMAIN
- 022 EXISTING FENCE
- 023 EXISTING CROSSWALK
- 027 EXISTING COMPACT PARKING
- 029 LINE OF EXISTING STRUCTURE ABOVE, TYP.
- 030 EXISTING STEPPED CONCRETE CURB
- 031 EXISTING MONUMENT SIGN
- 036 EXISTING RETAINING WALL

LEGEND

- PROPOSED TREE
- HIGH LANDSCAPE SCREEN
- PROPOSED GRAVEL AREA
- EXISTING LANDSCAPE AREA
- SITE EASEMENTS
- SITE SETBACKS
- SITE PROPERTY BOUNDARY
- EXISTING BUILDING
- PROPOSED CONCRETE SIDEWALK
- EXISTING CONCRETE SIDEWALK
- EXISTING SITE LIGHTING
- NO. OF PARKING SPACES IN GROUP
- TRAFFIC ARROW
- EXISTING FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- EXISTING CATCH BASIN

SITE PARKING SUMMARY

STANDARD PARKING	117 STALLS
COMPACT PARKING	37 STALLS
ACCESSIBLE STALLS	6 STALLS
TOTAL STALLS	160 STALLS

SITE AREA SCHEDULE

AREA TYPE	AREA	%
BUILDING	40,889 SF	17%
GRAVEL	36,840 SF	16%
LANDSCAPE	53,844 SF	23%
PAVEMENT	115,154 SF	47%
TOTAL	246,727 SF	100%

SITE IMPERVIOUS AREA SUMMARY

(GRAVEL AREA COMPARISON)

PREVIOUSLY APPROVED (DB9723)	38,560 SF
PROPOSED GRAVEL SITE AREA (THIS PLAN)	36,840 SF
DECREASE IN GRAVEL AREA	1,720 SF

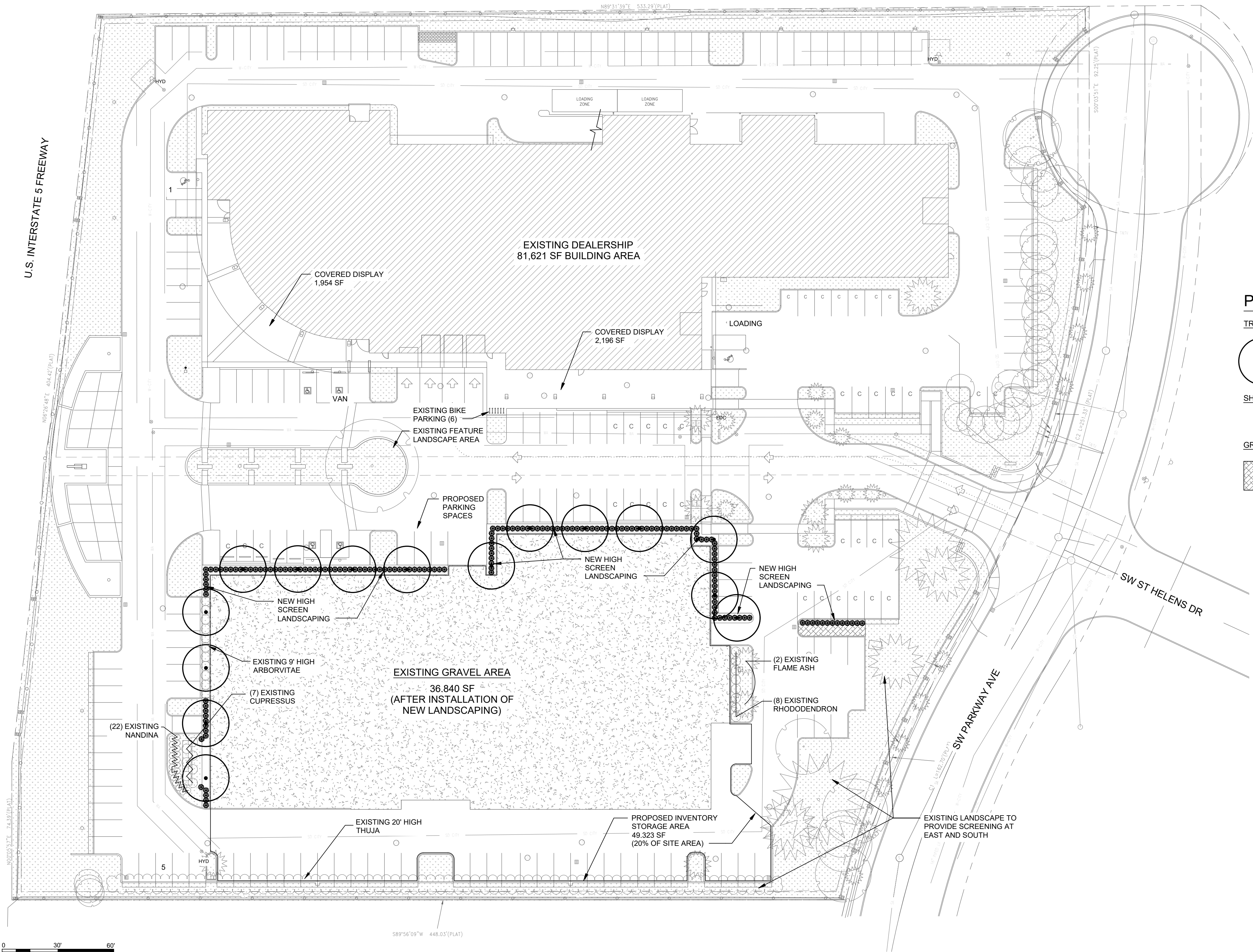
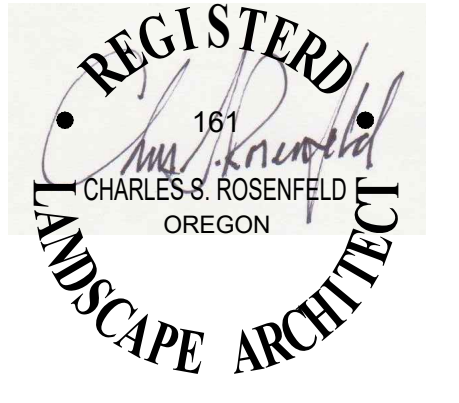
NOTE: GRAVEL AREA HAS BEEN CHANGED TO PLANTING AREA, SO NO REAL NET INCREASE IN IMPERVIOUS AREA

Scale: As indicated

NOT FOR CONSTRUCTION

STAGE II LANDSCAPE PLAN

SOUTH LOT INVENTORY STORAGE

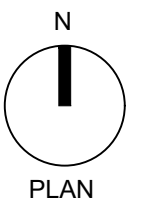


PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONTAINER	SIZE	SPACING	QTY
	Prunus x yedoensis 'Akebono' / Akebono Yoshino Cherry	B & B	1.5" cal. / 6' high graft	as shown	15
SHRUBS	BOTANICAL / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	B & B	6' ht	32" o.c.	159
GROUND COVERS	BOTANICAL / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	Arctostaphylos uva-ursi 'Massachusetts' / Massachusetts Kinnikinnick	1 gal	6"-12"	5' o.c.	8

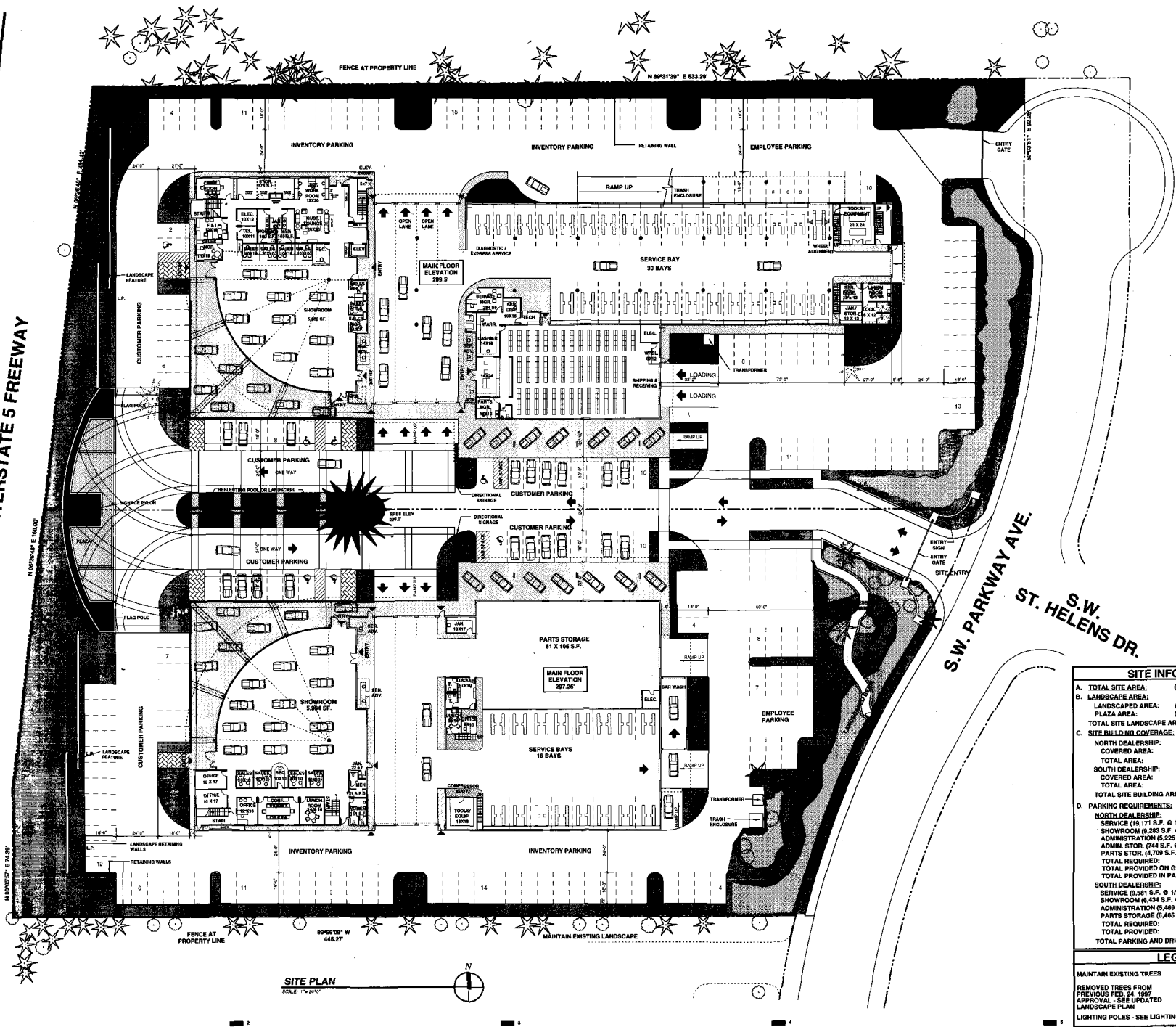
IRRIGATION NOTE
An automatic drip irrigation system will be extended to provide 1" per week precipitation rate to all proposed landscaping.

Scale: As indicated



281706

U.S. INTERSTATE 5 FREEWAY



SITE PLAN
SCALE: 1/4" = 10'

SITE INFORMATION	
A. TOTAL SITE AREA:	(5.65 ACRES) 245,048 S.F.
B. LANDSCAPE AREA:	
LANDSCAPED AREA:	(20.5%) 50,583 S.F.
PLAZA AREA:	(2.0%) 4,794 S.F.
TOTAL SITE LANDSCAPE AREA:	(22.5%) 55,377 S.F.
C. SITE BUILDING COVERAGE:	
NORTH DEALERSHIP:	39,845 S.F.
COVERED AREA:	6,882 S.F.
TOTAL AREA:	46,527 S.F.
SOUTH DEALERSHIP:	30,541 S.F.
COVERED AREA:	5,435 S.F.
TOTAL AREA:	37,076 S.F.
TOTAL SITE BUILDING AREA:	(34.0%) 83,603 S.F.
D. PARKING REQUIREMENTS:	
NORTH DEALERSHIP:	
SERVICE (19,171 S.F. @ 1/200)	96 SPACES
SHOWROOM (9,243 S.F. @ 1/600)	16 SPACES
ADMINISTRATION (5,025 S.F. @ 1/250)	21 SPACES
ADMIN. STOR. (744 S.F. @ 1/2,000)	1 SPACES
PARTS STOR. (4,709 S.F. @ 1/2,000)	3 SPACES
TOTAL REQUIRED:	137 SPACES
TOTAL PROVIDED ON GRADE:	110 SPACES
TOTAL PROVIDED IN PARKING GARAGE:	58 SPACES
SOUTH DEALERSHIP:	
SERVICE (9,511 S.F. @ 1/200)	48 SPACES
SHOWROOM (6,434 S.F. @ 1/600)	11 SPACES
ADMINISTRATION (5,469 S.F. @ 1/250)	22 SPACES
PARTS STORAGE (6,406 S.F. @ 1/2,000)	4 SPACES
TOTAL REQUIRED:	85 SPACES
TOTAL PROVIDED:	91 SPACES
TOTAL PARKING AND DRIVE AREA:	137,185 S.F.

LEGEND	
MANTAIN EXISTING TREES	
REMOVED TREES FROM PREVIOUS FEB. 24, 1997 APPROVAL - SEE UPDATED LANDSCAPE PLAN	
LIGHTING POLES - SEE LIGHTING PLAN	

PRELIMINARY
NOT FOR
CONSTRUCTION

R S

1122 S.W. Salmon
Suite 100
Portland, OR 97205
Tel. 503-221-1122
Fax: 503-221-2007

CONSULTANTS

RASMUSSEN MERCEDES
WILSONVILLE, OREGON

PROJECT NAME

PRELIMINARY SITE PLAN /
MAIN FLOOR PLAN
NORTH & SOUTH DEALERSHIP

SHEET TITLE

LAUNCH FOR PLANNING
REVIEW 4.8.97

DATE

DESIGNER

DATE

PROJECT: 96156

A1

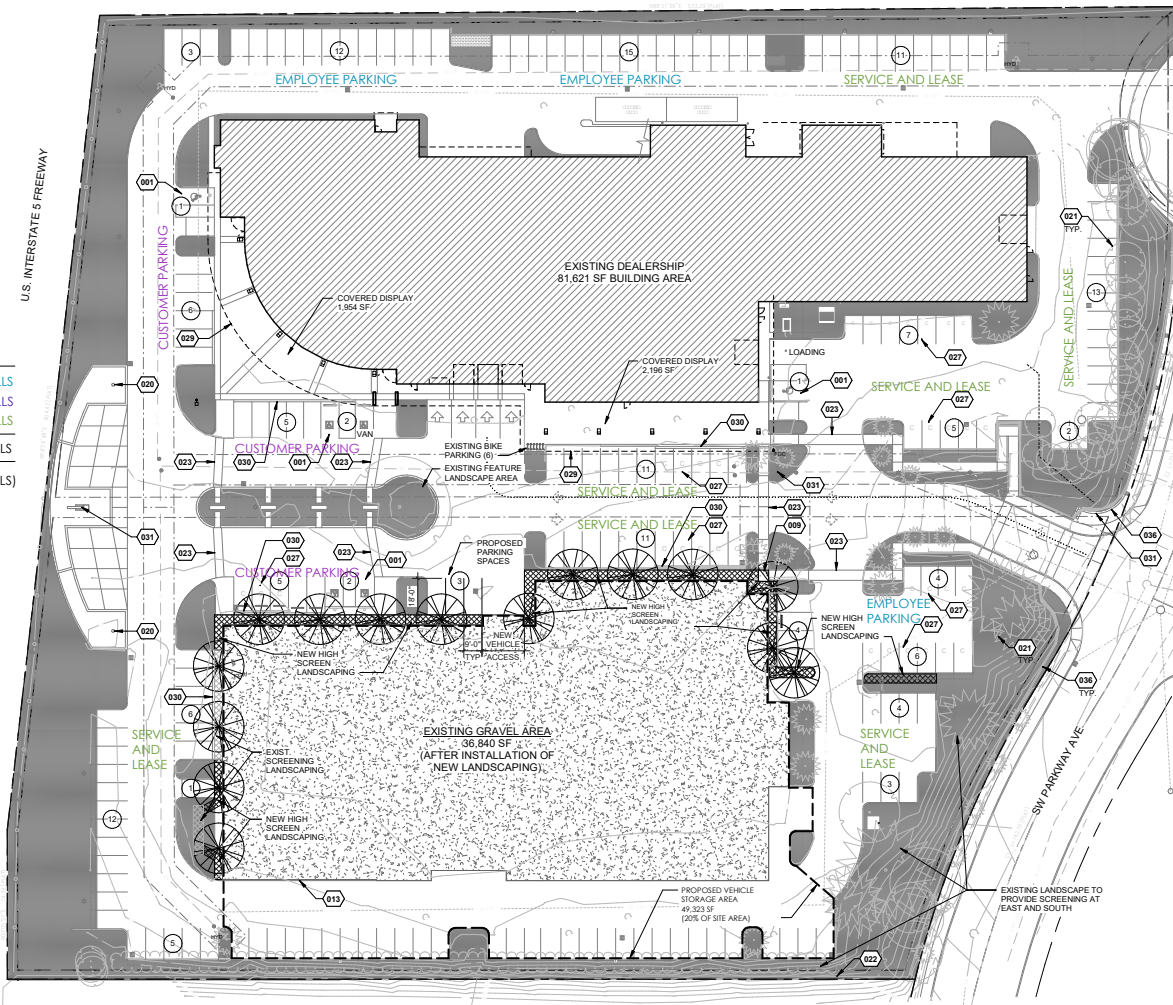
© LRS ARCHITECTS P.C.

STAGE II SITE PLAN - USE DIAGRAM

SOUTH LOT INVENTORY STORAGE

SITE PARKING USE SUMMARY

EMPLOYEE PARKING	44 STALLS
CUSTOMER PARKING	24 STALLS
SERVICE AND LEASE PARKING	92 STALLS
TOTAL PARKING	160 STALLS
(PLUS TOTAL PARKING IN GARAGE 58 STALLS)	



KEYNOTES

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