

# **Life Safety /Fire/ Parking**

**Section 4.175. Public Safety and Crime Prevention.**

(.01) All developments shall be designed to deter crime and insure public safety.





# Wildfires September 2020 Evacuation levels set!

WILSONVILLE, Ore. — The Oregon Department of Corrections says it is evacuating a prison out of an abundance of caution as two large wildfires in the area appear to be merging.

Authorities said Thursday afternoon they evacuated more than 1,300 adults in custody at the Coffee Creek Correctional Facility in Wilsonville, which houses mostly women.











# Fire Sprinklers required lots 1-2-3? What about exterior fire? SROZ zone? Who will Save us?

150-feet into the subdivision to either fight fires or to collect garbage and then back out using the cul-de-sac bulb and unimproved right-of-way fires or to collect garbage and then back out using the cul-de-sac bulb and unimproved right-of-way between Lot 8 and Tract A to turnaround on Canyon Creek Rd. S. Because the fire truck will not be able to access all lots by traveling only 150-feet down the new public street, all homes beyond this point will be equipped with fire sprinklers as required by the fire code.

**PDD 3.** Any area, whether in a garage or in a driveway, counted as a required parking space shall have the minimum dimensions of 9 feet by 18 feet. See Finding D37.

# This is the Developers response to Aspen Meadows development . 20 Feet Long? Where? Who is Accountable?

## **Section 4.155**      *General Regulations – Parking, Loading and Bicycle Parking*

**Response:** This project is for a detached single-family dwelling residential subdivision. On-street parking is not required and will not be provided because the applicant is only able to make a half street improvement. Once the property to the south re-develops and constructs the other half of the street, then there will be space available to allow on-street vehicle parking. Parking structures or parking lots are not required for this type of development. All required off-street parking for the future detached single-family will be provided on each lot via the driveways, which will be a minimum of 20 feet long by 12 feet wide. This will provide a minimum of one off-street parking space per dwelling units which meets the Code requirement of one space per dwelling unit. Additionally, proposed houses will have at least a single-car garage which provides yet another parking space. For single-dwelling residential use, there are no parking maximums and no bicycle parking requirements.





























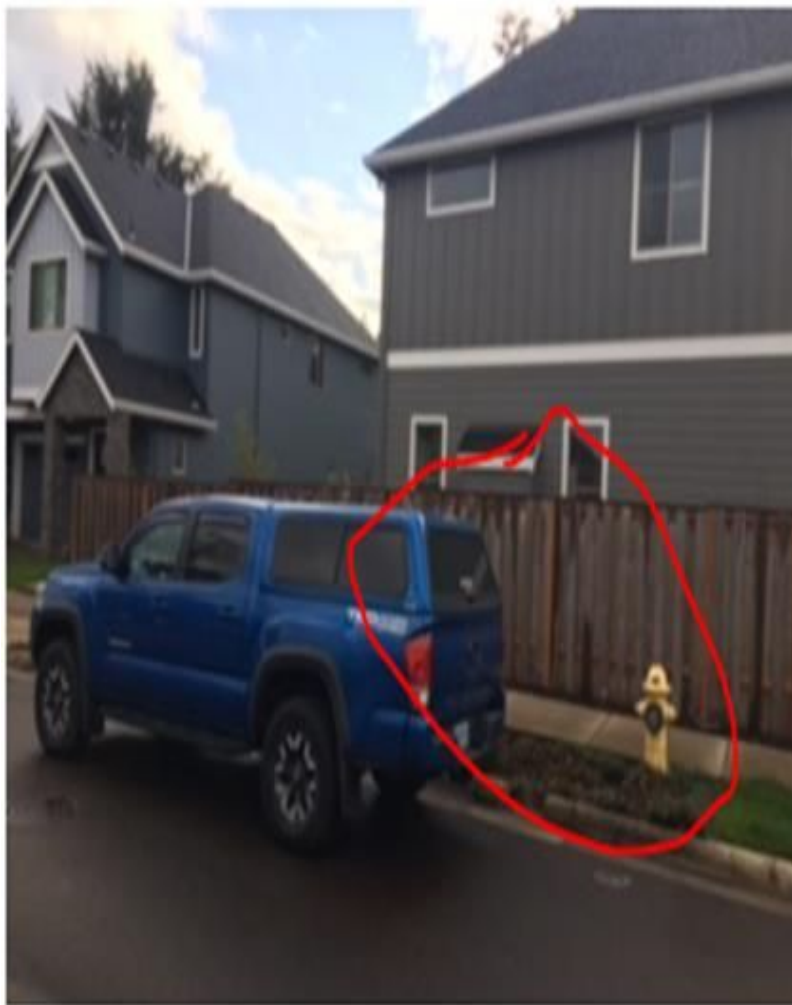


# Who is enforcing code to protect us?

## The Law States:

- When **parked**, you need to be at least 10 feet away from **fire hydrants**.
- No Parking within 5 **feet** of the **crosswalk**.

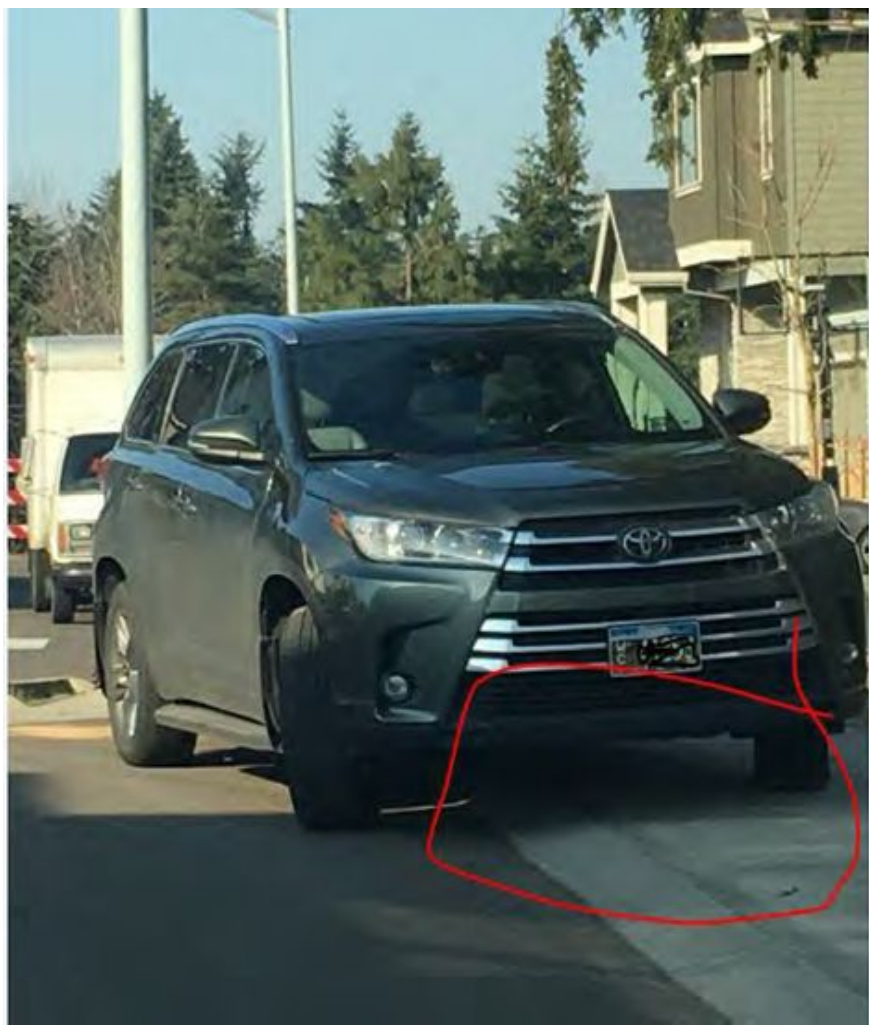














# The Planning Department/City Solution?

PDD 15. Prior to Final Plat Approval: The applicant shall revise the CC&R's and Bylaws documents to require the future Homeowners Association to actively enforce no parking areas, tow any illegally parked vehicle within 12 hours, and establish fees for homeowners who violate the no parking zones. See finding D37.

The Right Responsible Solution!

**DO NOT MAKE THE SAME MISTAKES! DO NOT APPROVE  
THE ZONE CHANGE!!**